

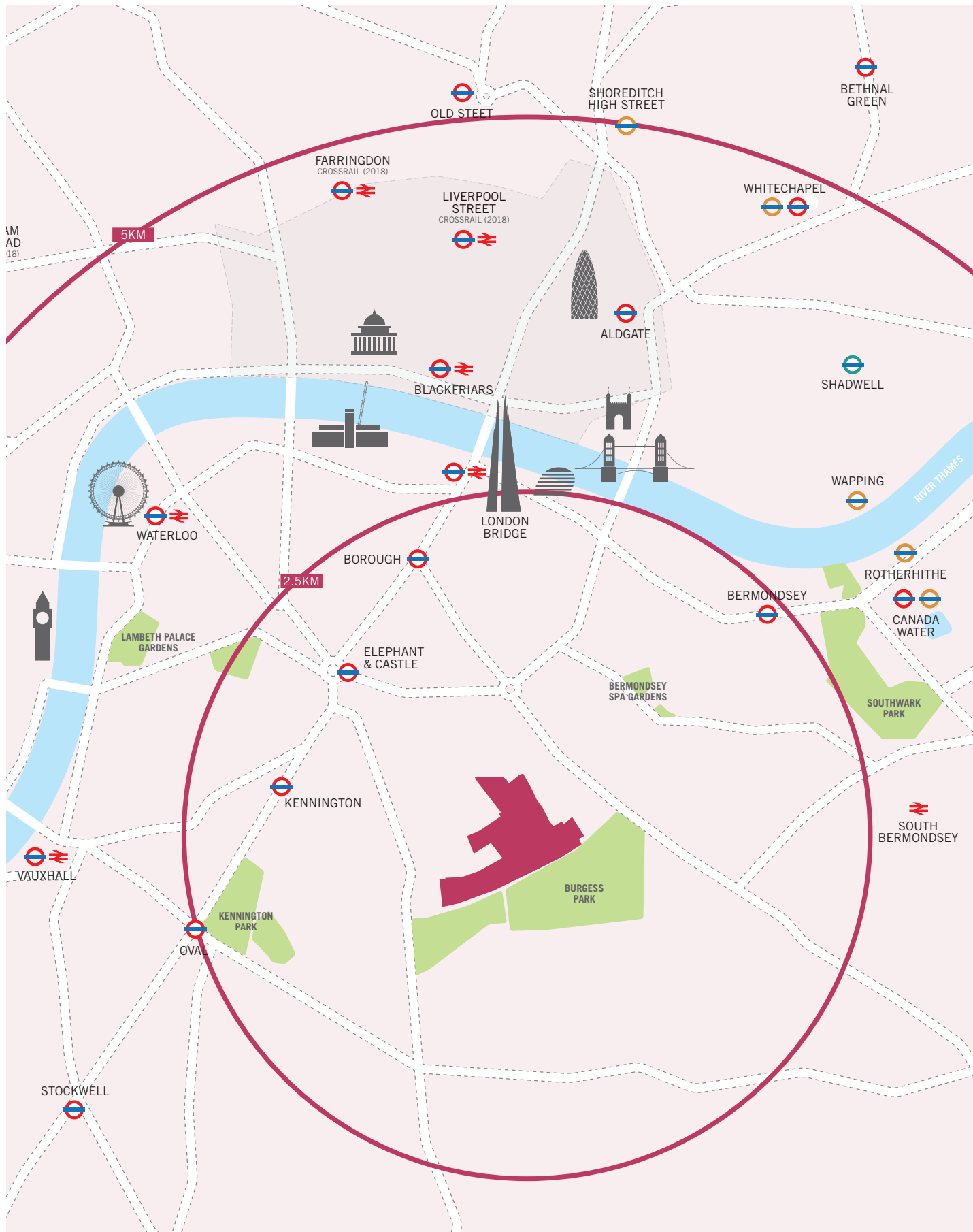
Masterplan & First Development Site Application

Environmental Statement: ES Volume 3

Townscape, Built Heritage and Visual Impact Assessment

HTA Design LLP

v1



CONTENTS

- 1.0 Introduction
- 2.0 Legislation, Policy and Guidance
- 3.0 Assessment Methodology and Significance Criteria
- 4.0 Visual Characteristics of the Proposed Development
- 5.0 Baseline and Assessments of Effects: Built Heritage
- 6.0 Baseline and Assessments of Effects: Townscape
- 7.0 Baseline and Assessments of Effects: Visual
- 8.0 Assessments of Effects: Tall Buildings
- 9.0 Demolition and Construction: Assessments of Effects and Mitigation Measures
- 10.0 Residual Effects
- 11.0 Conclusion
- 12.0 References

- Appendix A Unverified Test Views
- Appendix B Verified View Methodology (GMJ)

1.0 INTRODUCTION

INTRODUCTION

1.1 This report is Volume 3 of the Environmental Statement (ES) of the Planning Application for the Aylesbury Estate Regeneration. It forms part of the wider ES and reports the assessment of the likely significant environmental effects of the development proposals on sites 1b, 1c, 4a, 4b, 5, 6, 8, 9, 2a, 2b, 3a, 3b, 11, 12, 13 and 14 of the Aylesbury Estate Regeneration Scheme on the existing townscape character, above ground built heritage and visual amenity of the site(s) and surrounding area. These proposals are contained within two applications that will be submitted jointly, including:

- First Development Site Application (FDS Application): Detailed Application for sites 1b and 1c for demolition of existing buildings and redevelopment to create a residential-led development comprising 815 private and affordable units (Use Class C3); flexible community use, early years facility (Use Class D1) or gym (Use Class D2); public and private open space; formation of new accesses and alterations to existing accesses; and energy centre; gas pressure reduction station; associated car and cycle parking; and associated works; and
- Masterplan Application: Outline Application for the remainder of the Estate (Phases 2, 3 & 4), including access for demolition of existing buildings and redevelopment to provide up to 2,745 private and affordable residential units (Use Class C3); 600 to 2,500 sqm of employment use (Use Class B1); 200 to 500 sqm of retail space (Use Class A1); 3,100 to 4,750 sqm of community use, medical centre and early years facility (Use Class D1); 600 to 3,000 sqm flexible retail use (Use Class A1/A3/A4) or workspace use (B1); new landscaping; public and private open space; energy centre; gas pressure reduction station; up to 1,070 car parking spaces; cycle parking; landscaping and associated works.

1.2 The two applications have been developed as part of a comprehensive Masterplan approach

and have been considered in a single Scoping Study and subsequent Environmental Impact Assessment (EIA). Thus, this report covers the assessment of both applications as two development options as follows:

- Site Wide Development Option: this option relates to the whole of the Aylesbury Site, namely a combination of the FDS application and the Masterplan Application.
- FDS Only Development Option: this option relates to the FDS scheme proposals. It comprises the implementation of FDS Application 1

Refer to Figure opposite for the location of the FDS and Masterplan Applications.

1.3 This volume is to be read in conjunction with the other volumes forming part of the ES, including the introductory chapters (Chapters 1 – 5), Chapter 14 for information on the below ground archaeology, and Chapters 17, 18 and 19 on the summary of the cumulative effects, mitigation measures, and residual effects.

Aylesbury AAP Boundary with the Outline Masterplan and First Development Site highlighted



2.0
LEGISLATION,
POLICY AND
GUIDANCE

LEGISLATION, POLICY AND GUIDANCE

2.1 The following section provides a detailed review of relevant planning policies at national, London-wide and local levels. It summarises the townscape, built heritage and visual amenity policies relevant to the assessment of the development proposal.

2.2 We have assessed the following publications as relevant:

- The European Landscape Convention (ELC), (2000)
- National Planning Policy Framework (NPPF), (2012)
- GLA, The London Plan (2011) including Revised Early Minor Alterations (June 2012 & October 2013 and further draft alterations, (January 2014)
- GLA, London View Management Framework Supplementary Planning Guidance (LVMF SPG) (2012)
- London Borough of Southwark, The Southwark Plan UDP Saved Policies, (2013)
- London Borough of Southwark Local Plan, Core Strategy, (2011)
- London Borough of Southwark, Aylesbury Area Action Plan (AAP), (2010)
- London Borough of Southwark, Adopted Policies Map (2011)
- English Heritage, The Setting of Heritage Assets (2011)
- CABE (Commission for Architecture and the Built Environment) and English Heritage, Guidance on Tall Buildings (2007)
- DCLG, Planning Practice Guidance (PPG):
 - Design (2014)
 - Conserving and enhancing the historic environment (2014)

2.3 The European Landscape Convention (ELC, 2000) delivers a basis for closer co-operation on landscape issues across Europe. It became binding in the United Kingdom in March 2007 and highlights the need to recognise landscape in law, develop landscape related policies, which are dedicated to protecting, managing and creating of landscapes, and to establish procedures for the participation of the general public and other stakeholders in developing and implementing landscape policies.

2.4 'Landscape' is identified within ELS as 'an area, as perceived by people whose character is the result of the action and interaction of natural and/or human factors'. The ELS recognises the importance landscape plays across all dimensions, i.e. social, cultural, environmental and ecological. It also recognises landscape as one of the key elements of achieving sustainable development.

2.5 The Character Area Map of England and the use of Character Assessments to inform planning policy confirms the importance of the principles of ELC of landscape contributing to local identity and reflecting local cultural influences and ecological diversity. There is no character map for London that covers the Aylesbury Estate.

National Policy

National Planning Policy Framework (NPPF) (2012)

2.6 The National Planning Policy Framework (NPPF) was published by Central Government on 27th March 2012 and sets out government's overreaching planning policies for England and how these are expected to be applied.

2.7 The NPPF provides a commitment to achieving sustainable development through appropriate planning, expecting local plans to follow the approach of the presumption in favor of sustainable development with 'all plans [being] based upon and [reflecting] the presumption in favor of sustainable development' (Paragraph 15). Within its core planning principles, the Framework identifies 12 core land-use planning principles, which should underpin both plan-making and decision-taking; including:

- 'encourage the effective use of land by reusing land that has been previously developed (brownfield land), provided that it is not of high environmental value;
- 'conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations (Paragraph 17)'

2.8 In relation to landscape and visual aspects, the government attaches great importance to the design of the built environment and states that, 'Local and neighbourhood plans should develop robust and comprehensive policies that set out the quality of development that will be expected for the area. Planning policies and decisions should aim to ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development.' Section 7: Requiring Good Design and in particular paragraphs 56-68, identifies that local and neighbourhood plans should aim to ensure that developments (in part):

- establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit;

- optimise the potential of the site to accommodate development, create and sustain an appropriate mix of uses (including incorporation of green and other public space as part of developments) and support local facilities and transport networks;
- respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation;
- are visually attractive as a result of good architecture and appropriate landscaping.

2.9 It states that although visual appearance and the architecture of individual buildings are very important factors, "securing high quality and inclusive design goes beyond aesthetic considerations and identifies that planning policies and decisions should address the connections between people and places and the integration of new development into the natural, built and historic environment" (Paragraph 61). It also states that "permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions." (Paragraph 64, NPPF 2012).

2.10 In Section 12 Conserving and Enhancing the Historic Environment, the NPPF identifies that when local planning authorities are developing their Local Plan they should take into account (in part):

- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place. (Paragraph 126).

2.11 Paragraph 128 (NPPF, 2012) identifies that, in determining applications, 'local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting'. It continues in Paragraph 132-133 that 'great weight should be given to the asset's conservation' when considering the impact of a proposed development on the significance of a designated heritage asset, and proposed

Legislation

The European Landscape Convention (ELC, 2000)

development that leads to substantial harm or total loss of significance of a designated heritage asset being refused consent 'unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss'. Paragraph 135 also identifies that 'the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application', with the requirement for 'a balanced judgement' to the 'scale of any harm or loss and the significance of the heritage asset'.

2.12 Significance is defined within the NPPF's glossary as: 'The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.'

2.13 Where a proposed scheme will lead to 'less than substantial harm to the significance of a designated heritage asset', the level of such harm should then be weighed against benefits that the proposal will bring to the public.

2.14 It is further stated that 'Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposal that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably'.

2.15 Policy related to non-designated heritage assets expects that a balance judgment is made against individual proposals, having due regard to the level of harm or loss and the significance level of the heritage asset affected.

London-wide Planning Policy

GLA, *The London Plan* (2011) including Revised Early Minor Alterations (June 2012 & October 2013 and further draft alterations (January 2014)

2.16 The London Plan Spatial Development Strategy for Greater London (2011) including Revised Early Minor Alterations June 2012 & October 2013 and Further Alterations to the London Plan (FALP) (2014), form the overall strategic plan for Greater London, which sets out an integrated economic, environmental, social and transport framework for the development of London over the next 20-25 years.

2.17 The following policies of the London Plan (2011) and FALP (2014) highlight the importance of creating high quality, functional neighbourhoods and places.

- Policy 2.18: Green Infrastructure: The Multi Functional Network of Green Spaces, which highlights the need to 'protect, promote, expand and manage' the London green infrastructure in order to secure benefits including 'biodiversity; natural and historic landscapes; culture; building a sense of place; the economy; sport; recreation; local food production; mitigating and adapting to climate change; water management; and the social benefits that promote individual and community well-being'. Consequently developments should:
 - a) 'incorporate appropriate elements of green infrastructure that are integrated into the wider network;
 - b) encourage the linkage of green infrastructure including the Blue Ribbon Network, to the wider public realm to improve accessibility for all and develop new links, utilising green chains, street trees, and other components of urban greening.'
- Policy 7.1: Lifetime Neighbourhoods (D), states that, 'The design of new buildings and the spaces they create should help reinforce or enhance the character, legibility, permeability, and accessibility of the neighbourhood'. It further states in Section F that 'Boroughs should plan

across services to ensure the nature and mix of existing and planned infrastructure and services are complementary and meet the needs of existing and new communities'.

- Policy 7.2: An Inclusive Environment expects all developments to 'achieve the highest standards of accessible and inclusive design and support the principles of inclusive design'.
- Policy 7.3: Designing out crime, highlights the importance of creating safe, secure and accessible environments through good design process, which takes into account the principles contained within Government Guidance on 'Safe Places' and other guidance such as 'Secure by Design' published by the police.
- Policy 7.4 Local Character, which expects that developments will 'have regard to the form, function and structure of an area, place or street, and the scale, mass and orientation of surrounding buildings'. It should also 'improve an area's visual or physical connection with natural features'. Developments should built upon the positive elements found in the area and 'provide high quality design responses', which:
 - a) 'have regard to the pattern and grain of the existing spaces and streets in orientation, scale, proportion and mass';
 - b) contributes to a positive relationship between the urban structure and natural landscape features, including the underlying landform and topography of an area;
 - c) is human in scale, ensuring buildings create a positive relationship with street level activity and people feel comfortable with their surroundings;
 - d) allows existing buildings and structures that make a positive contribution to the character of a place to influence the future character of the area;
 - e) is informed by the surrounding historic environment.'

- Policy 7.5: Public Realm highlights the importance of public realm being 'comprehensible at a human scale'. This can be achieved through the use of gateways, landmark buildings, focal points, landscape treatment, street furniture and high quality infrastructure and integration of public art and greening opportunities.
- Policy 7.6: Architecture expects buildings and structures to:
 - a) be of the highest architectural quality;
 - b) be of a proportion, composition, scale and orientation that enhances, activates and appropriately defines the public realm;
 - c) comprise details and materials that complement, not necessarily replicate, the local architectural character;
 - d) not cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings, in relation to privacy, overshadowing, wind and microclimate. This is particularly important for tall buildings;
 - e) incorporate best practice in resource management and climate change mitigation and adaptation;
 - f) provide high quality indoor and outdoor spaces and integrate well with the surrounding streets and open spaces;
 - g) be adaptable to different activities and land uses, particularly at ground level;
 - h) meet the principles of inclusive design;
 - i) optimise the potential of sites.
- Policy 7.7: Location and Design of Tall and Large Buildings. The guidance states that tall and large buildings should 'relate well to the form, proportion, composition, scale and character of surrounding buildings, urban grain and public realm (including landscape features), particularly at street level'. They should also 'improve the legibility of an area' and 'enhance the skyline and image of London' by 'incorporating the highest standards of

architecture and materials, including sustainable design and construction practises'. They should offer ground floor activities and contribute to improving the permeability of the site and the surrounding area and 'make a significant contribution to local regeneration'. The impact of tall buildings in sensitive locations, such as conservation areas, listed buildings or registered historic parks and gardens, should be given particular attention and consideration.

- Policy 7.8 Heritage Assets and Archaeology. The Policy expects that developments 'identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate' due to the depth of character that they provide to the City through 'immeasurable benefits to the economy, culture and quality of life', as natural landscapes provide a unique sense of place and architectural history delivers environment that is not only local, but also national and of world heritage value.
- Policy 7.11 London View Management Framework identifies the Mayor's designated set of strategically important views.
- Policy 7.17 Metropolitan Open Land states that, 'The Mayor strongly supports the current extent of Metropolitan Open Land (MOL), its extension in appropriate circumstances and its protection from development having an adverse impact on the openness of MOL'.
- Policy 7.19 Biodiversity and access identifies that, the 'Mayor will work with all relevant partners to ensure a proactive approach to the protection, enhancement, creation, promotion and management of biodiversity in support of the Mayor's Biodiversity Strategy.'

Local Policy

Southwark Plan (UDP saved policies) (2007)

- 2.18 This document contains policies in the Southwark Plan (2007), which have been saved. Some of the policies listed within this document were part replaced by the Core Strategy.
- 2.19 The following Policies of the Southwark Plan (UDP saved policies) (2007) are of particular importance in relation to the proposed scheme and the Townscape and Visual Assessment undertaken as part of the assessment of the suitability of the development proposal:
- Policy 3.12 Quality in Design. Developments should achieve high quality architectural and urban design through delivering creative, high quality and appropriate design solutions, which reflect the specific characteristics of the site (i.e. shape, location, size and development opportunities), and preserve or enhance the historic environment (where applicable).
 - Policy 3.13 Urban Design. The Policy sets considerations that should be given in designing new developments, which include amongst others 'Townscape, local context and character', seeking the development's design to make a 'positive contribution to the character of the area and provide active frontages'
 - Policy 3.15 Conservation of the Historic Environment. The Council recognises the importance of Southwark's built heritage, which serves as a community asset and therefore requires safeguarding. The Policy highlights the need of proposals to 'preserve or enhance the special interest of historic character or appearance of buildings or areas of historical or architectural significance', as developments which cause a negative impact will not be permitted. It further states that any proposal should recognise and respect the character and appearance of the historic environment, which includes 'Conservation Areas, listed buildings, scheduled monuments, protected London squares, historic parks and gardens and trees that

are protected by Tree Preservation Orders, trees that contribute to the character or appearance of a Conservation Area and ancient hedgerows'.

- Policy 3.18 Setting of Listed Buildings, Conservation Areas and World Heritage Sites. The Council will safeguard its assets, as it recognises the importance of its built heritage, which serves as a community asset, and therefore will not grant permission for proposals, which would not preserve or enhance:
 - 'i. The immediate or wider setting of a listed building; or
 - ii. An important view(s) of a listed building; or
 - iii. The setting of the Conservation Area; or
 - iv. Views into or out of a Conservation Area; or
 - v. The setting of a World Heritage Site; or
 - vi. Important views of /or from a World Heritage Site.'
- Policy 3.20 Tall Buildings. The Council acknowledges that thoughtfully designed tall buildings 'can be an important component in rising population density around transport nodes, avoiding urban sprawl and contributing to an area's regeneration'. It is however expected that proposals buildings over 30 meters tall (25m within Thames policy Area) will make a positive contribution to the landscape; will be located at a point of landmark significance; is designed to the highest possible architectural standard; relates well to its surroundings (especially at street level) and provide positive contribution towards London Skyline (either by providing key focus within views or as a whole, by consolidating a cluster within the skyline).
- Policy 3.22: Important Local Views, which states that important, identified local views, panoramas or prospects and their settings need to be protected and enhanced where possible, as developments which impact negatively will not be granted permission.

Southwark Core Strategy (2011)

2.20 The Core Strategy was formally adopted in April 2011.

2.21 Relevant strategic policies include:

- Strategic Policy 11 Open spaces and wildlife, SO 2F: Conserve and protect historic and natural places, which may have historic significance or provide the setting for heritage assets. The Council aims to ensure that historic and natural places are being protected against development proposals, which impact negatively on the historic and natural environment, such as sites of importance for nature conservation (SINCs).
- Strategic Policy 12 Design and conservation, SO 2F: Conserve and protect historic and natural places. Developments are to achieve the highest possible design standards in order to assist in creating 'attractive and distinctive places, which are safe, easy to get around and a pleasure to be in'. The Council expects developments to :
 - Conserve or enhance the significance of Southwark's heritage assets, their setting and wider historic environment, including conservation areas, archaeological priority zones and sites, listed and locally listed buildings, registered parks and gardens, world heritage sites and scheduled monuments.
 - Make sure that the height and design of development conserves and enhances strategic views and is appropriate to its context, the historic environment and important local views.
 - Requiring tall buildings to have an exemplary standard of design and make a positive contribution to regenerating areas and creating unique places.
 - Continuing to use the Southwark Design Review Panel to assess the design quality of development proposals.

- Requiring Design and Access Statements with applications and encouraging Building for Life Assessments and heritage impact assessments.

Aylesbury Area Action Plan (AAP) (2010)

- 2.22 The Aylesbury Area Action Plan (AAP) adopted in January 2010 aims to set the blueprint for the regeneration of the area over the coming years and in particular the Aylesbury Estate. Positive improvement to the area and the Estate is sought through making positive improvements to the economy, employment, transport, housing, shopping, open spaces and the overall look and feel of the area and to create a sustainable community. This AAP was prepared in several stages guided by the process of sustainability appraisal and was based on a detailed consultation with the local community throughout the development of the document.
- 2.23 The core of this AAP has been divided into blocks, which relate to the phasing of the development, which are known as 'Proposal Sites' and further into 'Development Blocks' in order to ensure that 'the right amount and type of development comes forward'.
- 2.24 The following policies included within Aylesbury Area Action Plan relate to the proposed development and the visual impact of the proposals on the townscape of the area:
- PL4: Building Heights, which highlights the need for careful consideration of taller buildings design and sets the general building heights permitted within different proposal sites. Building height plan (Figure 10) indicates the acceptable and preferred location of District Landmark Building of between 15-20 storeys, District Landmark buildings of between 10-15 storeys, predominantly 2-4 storey buildings, predominantly 7-10 storeys buildings and other special buildings within the AAP boundary.

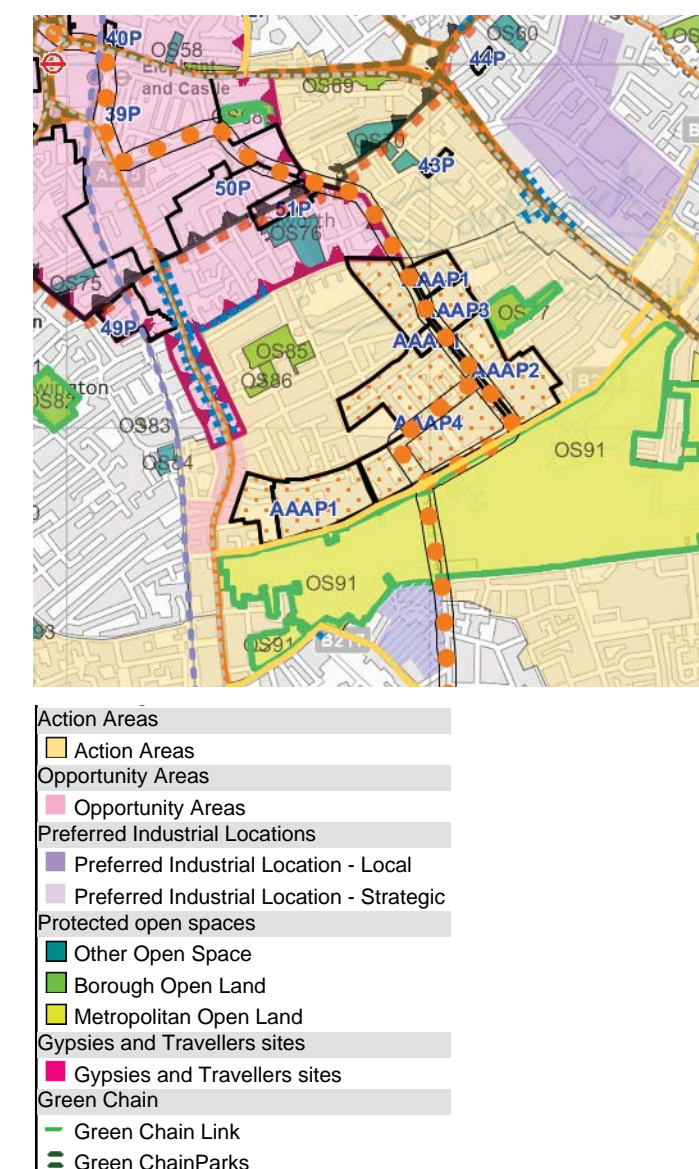
Adopted Policies Map (2011)

- 2.25 The Proposals Map designates certain parts of the borough for particular types of land uses and identifies areas where particular policies will apply.
- 2.26 According to the Adopted Policies Map (2011), the Aylesbury Estate falls within the proposed Action Area Core. The estate was divided into four Proposed Sites which follow the phases identified in the Aylesbury Area Action Plan, as shown on Figure 2.1. The Adopted Policies Map also identifies saved UDP and LDF Policies. Policy BH3: Tenure Mix is still relevant to the Aylesbury site.
- Policy BH3: Tenure Mix
- '50% of new homes in the action area core will be affordable and 50% will be private. We will require the following mix of tenures on each proposals site within the action area core:*
- Proposals site AAAP1 (Phase 1)*
- 41% Private
 - 59% Affordable
- Proposals sites AAAP2 and AAAP3 (Phases 2 and 3)*
- 50% Private
 - 50% Affordable
- Proposals site AAAP4 (Phase 4)*
- 58% Private
 - 42% Affordable
- Of the affordable housing provided, 75% should be social rented and 25% should be intermediate'*
- 2.27 Metropolitan Open Land is located directly to the south of the Site. Borough Open Land parcels are found northwest and east of the development site.

Planning and Best Practice Guidance

- 2.28 This assessment of townscape and visual effects is based upon the following good practice guidelines, which have also been considered during the preparation of the Masterplan and detailed proposals:
- GLA, London View Management Framework Supplementary Planning Guidance (LVMF SPG) (2012)
 - English Heritage, The Setting of Heritage Assets (2011)
 - CABE (Commission for Architecture and the Built Environment) and English Heritage, Guidance on Tall Buildings (2007)
 - DCLG, Planning Practice Guidance (PPG):
 - Design (2014)
 - Conserving and enhancing the historic environment (2014)
- 2.29 Some of the above guidance was developed in relation to both rural and urban areas and as such are applicable to all assessments, which are submitted under the Town and Country Planning Environmental Impact Assessment Regulations.
- London View Management Framework Supplementary Planning Guidance (LVMF SPG) (2012)*
- 2.30 The LVMF SPG was recently updated and published in March 2012. Its development was prompted by the need to provide additional clarity and further detail to the sections of The London Plan (Ref 1-7) that refer to the importance, protection and management of identified London views.
- 2.31 The following policies have been considered in relation to the design of the proposed development:
- Policy 4B.15 - London View Management Framework establishes the London View Protection Framework through designating a selected set of strategically important views, as listed in Table 4B.1 of the Plan, which are to be managed in accordance with Plan Policies 4B.15 and 4B.16. The

Southwark Adopted Policies Map (2011)



suitability for designation of views is considered in relation to criteria stated within Policy 4B.16. Policy 4B.16 also states that Boroughs should base the management of strategically important views in accordance with Policies 4B.16 - 4B.17. Table 4B.1 Lists the views designated as part of the London View Management Framework (LVMF) that are categorised into London Panoramas, Linear Views, River Prospects and Townscape Views. Policy 4B.17 states the Mayor's commitment to the preparation and ongoing review of management plans for the designated views; this commitment has subsequently been fulfilled through the preparation of the London

- Policy 4B.16: View Management Plans, states the principles of management principles for varied types of views, and that management plans are to be prepared for the views designated under Policy 4B.15 and they should seek to:
 - *reflect the benefits of the view, helping to promote an appreciation of London at the strategic level and to identify landmark buildings and to recognise that it is not appropriate to protect every aspect of an existing view;*
 - *seek to enhance the view and viewing place in terms of access and the ability to understand the view;*
 - *prevent undue damage to the view either by blocking, or unacceptably imposing on, a landmark or by creating an intrusive element in then view's foreground or middle ground;*
 - *clarify appropriate development height thresholds*
 - *protect backgrounds that give a context to landmarks. In some cases, the immediate background to landmarks will require safeguarding to ensure the structure can be appropriately appreciated;*
 - *be based on an understanding of its foreground, middle ground and background, landmark elements and*

the relative importance of each to view in its entirety.

- Policy 4B.17: Assessing development impact on designated views sets out requirements and key principles for the assessment and management of potential impacts of development proposals on the following categories:
 - *Landmark Viewing Corridors;*
 - *Front and Middle Ground Assessment Areas;*
 - *Landmark Lateral Assessment Areas, and;*
 - *Landmark Background Assessment Areas.*

2.32 The guidance document lists a total of thirteen Protected Vistas which are geometrically defined and place additional consultation and referral requirements on development proposal exceeding the defined threshold plane. A total of twenty-seven Viewing Places are identified in the LVMF SPG, which include the Protected Vistas views. These are separated into four categories:

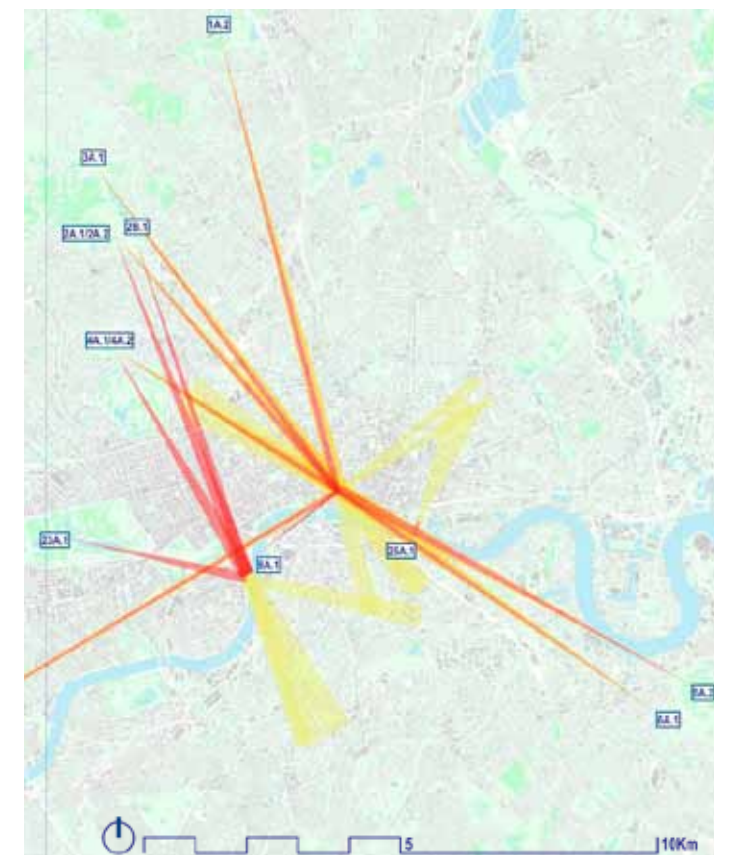
- London Panoramas;
- River Prospects;
- Townscape Views;
- Linear Views.

2.33 The London View Management Framework SPG identifies six view panoramas. The Aylesbury Estate is within the southern extent of the panorama view from Alexandra Palace. Figures 2.2 and 2.3 identify the location of the two designated long distance views from the viewing terrace at Alexandra Palace. Although two assessment points are identified in the LVMF SPG, point 1A.1 represents the best position to see the wider panorama and, due to trees within view 1A.2, it was decided that the Aylesbury development proposals are more likely to be seen from this view. View 1A.1 was assessed to determine the visual impact of the development proposals – refer Section 7.

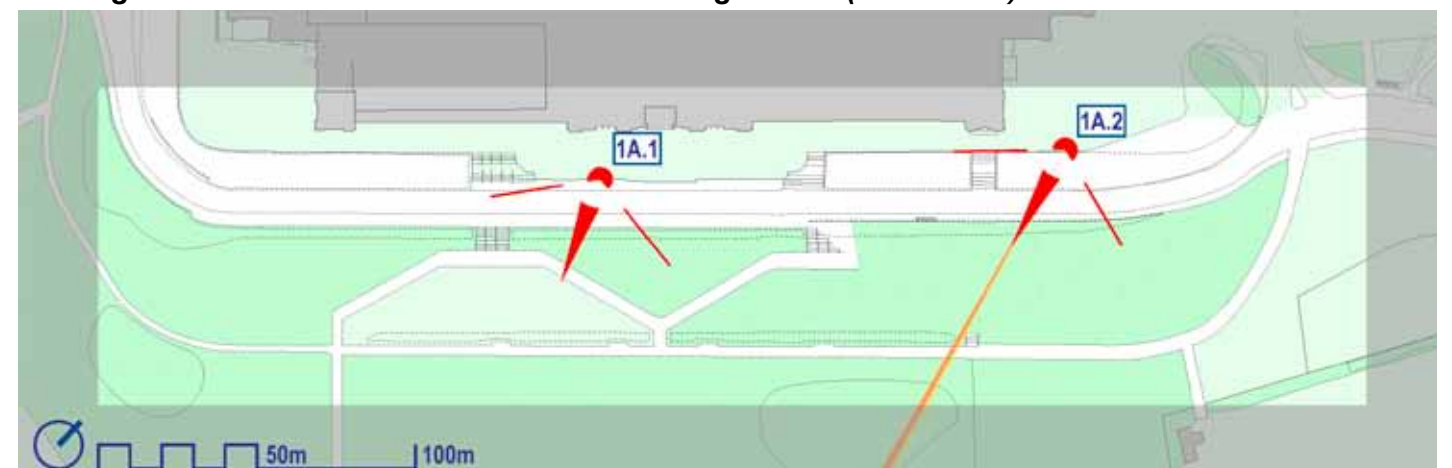
The Setting of Heritage Assets (2011)

- 2.34 The Setting of Heritage Assets is a guidance document published by English Heritage in October 2011, which sets out the importance of setting heritage assets and assessing the effect of new development on the setting of a heritage asset.
- 2.35 One of the most important aspects is setting the views of/ from a heritage asset, as 'The setting of any heritage asset is likely to include a variety of views of, across, or including that asset, and views of the surroundings from or through the asset. A long-distance view may intersect with, and incorporate the settings of numerous heritage assets.'
- 2.36 The following steps should be undertaken in order to provide a comprehensive assessment of the impact of new development on a heritage asset:
1. *'identify which heritage assets and their settings are affected;*
 2. *assess whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s);*
 3. *assess the effects of the proposed development, whether beneficial or harmful, on that significance;*
 4. *explore the way maximising enhancement and avoiding or minimising harm;*
 5. *make and document the decision and monitor outcomes.'*

Protected Vistas (LVMF 2012)



Viewing Location 1A Alexandra Palace: the viewing terrace (LVMF 2012)



2.37 Section 4.3 regarding Views Assessment provides an outline of the need for an assessment of the visual impact of development proposals on a heritage asset and its setting. The extent and importance of setting is *'often expressed by reference to visual considerations, including views'*.

2.38 In section 4.5 Cumulative Change, it further states that the impact *'of incremental small-scale changes may have as great an effect on the setting of a heritage asset as a large-scale development.'*

CABE and English Heritage, *Guidance on Tall Buildings* (2007)

2.39 The Guidance offers CABE and English Heritage's advice to local planning authorities to inform policy making in relation to tall buildings in the planning process. It identifies that *'proposals for tall buildings should be considered as pieces of architecture in their own right, and as pieces of urban design sitting within a wider context; and in this respect they should be assessed in the same way as any other project, and against the most demanding standards of quality.'* The Guidance was written before the introduction of the NPPF and references a number of planning policy statements which are no longer in use, however it is endorsed by the Government and identified as *'capable of being a material consideration in the determination of a planning application'*.

2.40 The Guidance discusses the process that local planning authorities should undertake to ensure the locations for tall buildings suggested are suitable, and sets out various criteria against which tall building proposals should be assessed, including the following:

- The relationship to context, that is scale, height, streetscape, urban grain, topography and built form, rivers, waterways, important views, open spaces, prospects and panoramas, and the effect on the sky-line;
- The effect on historic context and the requirement to preserve and/or further enhance historic buildings, sites, landscapes and skylines;

- The impact on World Heritage Sites;
- The architectural quality of the building; the design of tall buildings and especially their base and its effect on the streetscape being particularly significant;
- The contribution to public spaces and facilities (internal and external);
- The contribution to permeability, accessibility and legibility.

DCLG, *Planning Practice Guidance: Design* (2014)

2.41 The Planning Practice Guidance web-based resource was launched by the Department for Communities and Local Government (DCLG) in March 2014 to complement the National Planning Policy Framework.

2.42 The Design Guidance discusses the importance of good design and how planning objectives can help to achieve it. Furthermore it provides valuable information on what is a well designed place and how buildings and the spaces between them should be considered.

2.43 The Guidance identifies that achieving good design *'is about creating places, buildings, or spaces that work well for everyone, look good, last well, and will adapt to the needs of future generations.'* It further recognises that good design responds to both the function and identity of a place.

2.44 It defines a well-designed place as a place that exhibit qualities that benefit its users and the wider area and should: be functional; support mixed uses and tenures; include successful public spaces; adaptable and resilient; have a distinctive character; be attractive; and encourage ease of movement.

2.45 The Design Guidance recognises that distinctiveness is what often makes a place special and valued and this relies on physical aspects such as: the local pattern of streets blocks and plots; building forms; details and materials; style and vernacular; landform and gardens, parks, trees and plants; and wildlife habitats and microclimates. However it also identifies that *'distinctiveness is not solely about the built environment – it also reflects an*

area's function, history, culture and its potential need for change.' The Guidance also identifies that streetscapes, landscapes, buildings and elements within them all have an influence on the attractiveness and long term success of a place and the *'composition of elements and the relationship between colours, textures, shapes and patterns are all important, as is the depth of views, particularly across roofscapes or between buildings.'*

2.46 The Design Guidance suggests the following should be considered to help achieve good design:

- layout – the way in which buildings and spaces relate to each other
- form – the shape of buildings
- scale – the size of buildings
- detailing – the important smaller elements of building and spaces
- materials – what a building is made from

2.47 It identifies that *'new development should look to respond appropriately to the existing layout of buildings, streets and spaces to ensure that adjacent buildings relate to each other, streets are connected, and spaces complement one another.'* It recognises that the decisions on building size and mass influences the character, functioning and efficiency of an area and the size of individual buildings affect the overshadowing and overlooking of others; local character; skylines; as well as vistas and views. However, it also recognises that the *'massing of development should contribute to creating distinctive skylines in cities, towns and villages, or to respecting existing skylines'* and that consideration needs to be given to roof space design within the wider context, with any adverse visual impact of rooftop servicing minimised.

DCLG, *Planning Practice Guidance: Conserving and enhancing the historic environment* (2014)

2.48 The Planning Practice Guidance web-based resource was launched by the Department for Communities and Local Government (DCLG) in March 2014 to complement the National Planning Policy Framework.

2.49 Protecting and enhancing the historic environment is identified as an important component of the National Planning Policy Framework's drive to achieve sustainable development.

2.50 Most of the conserving of the historic environment guidance discusses how and when buildings and places are listed as heritage assets, how the planning system is used to conserve or alter these assets, and when bodies such as English Heritage are to be notified as a consultee.

2.51 The Guidance notes that local planning authorities may identify buildings, monuments, sites, places, areas or landscapes as non-designated heritage assets; places that have a degree of significance meriting consideration in planning decisions, but which are not formally designated heritage assets.

3.0 ASSESSMENT METHODOLOGY AND SIGNIFICANCE CRITERIA

ASSESSMENT METHODOLOGY AND SIGNIFICANCE CRITERIA

Scope of the Assessment

3.1 The purpose of this Townscape, Built Heritage and Visual Impact Assessment is to identify, describe and assess the visual impact of the proposed development(s) on the existing townscape, built heritage and local views around the site. The methodology is based on the following guidance for assessing townscape, heritage and visual effects of development:

- *Guidelines for Landscape and Visual Impact Assessment 3rd Edition (GLVIA)*, April 2013, produced jointly by the Institute of Environmental Assessment (now IEMA) and the Landscape Institute; and,
- English Heritage, 2011, *Seeing the History in the View: A Method for Assessing Heritage Significance within Views*
- GLA, 2012, *London View Management Framework Supplementary Planning Guidance (LVMF SPG)*

3.2 The aim of the assessment is to:

- Identify visual receptors with views of the proposed development site(s);
- Identify townscape and built heritage elements likely to be impacted by the proposal;
- Provide an assessment of the likelihood and significance of potential effects of the proposed development on the townscape, built heritage and local views;
- Assess the impact of proposed tall buildings in relation to the townscape, built heritage and local views;
- Provide analysis of measures best suited to mitigate any potential negative effects previously identified;
- Describe resulting residual townscape and visual effects associated with the proposed development.

3.3 The assessment considers the following:

- The physical fabric of the development area and surrounds;
- Above ground built heritage and conservation areas;
- The visual characteristics of the proposed development;
- Cumulative impacts, including existing buildings and consents, submitted applications, and emerging development proposals which are likely to affect London's skyline; and
- The impact of First Development Site proposals, followed by the Outline Masterplan proposals.

3.4 The assessment process undertaken is as follows:

- Definition of the study area
- Preparation of baseline studies to define and identify the features to be assessed, including their sensitivity to change;
- Assessment of the impact of the proposed development, including for cumulative schemes, and a determination of the magnitude of change;
- Determination of the significance of the effects;
- Identification of mitigation measures and residual effects.

Consultation

3.5 A Scoping exercise was undertaken by WSP to inform the scope of the Environmental Assessment to be pursued. This produced the ES Scoping Report (Appendix 2.1), LBS Scoping Opinion (Appendix 2.2) and the Scoping Opinion Rebuttal (Appendix 2.3). Given the nature of the proposed developments, a single Scoping Study and subsequent Environmental Impact Assessment (EIA) consider the two separate applications. The Scoping Report sets out key information regarding the proposed development, its likely effects and proposed methodologies to assess the impact of the development, as well as appropriate considerations to be included in the scheme's assessment stage. These Scoping documents have been taken into account in this Townscape and Visual Assessment.

3.6 A Scoping Opinion Report was issued by Southwark Council on the 5th of June 2014. It sets out the Local Planning Authority and stakeholders' responses to the proposed scope of the EIA. In terms of the content required in the Environmental statement relating to townscape, built heritage and visual impact assessment, the comments from Council were:

'The London Borough of Southwark welcomes the scoping report and the range of issues it is seeking to address. The report satisfactorily provides a description of the nature and purpose of the development, the current conditions of the site, its character and surroundings'. It further states that Conservation and Design officers reviewed the information provided within the Townscape, Visual and Cultural Heritage Effects Assessment and 'broadly welcome the approach to assessment'. It recommends that the assessment should be also be informed by the Liverpool Grove Conservation Area Appraisal and follow English Heritage's recommendations. It identifies that the assessment "should contain a detailed methodology"; viewpoints be assessed for the worst case scenario such as winter views; and

"all judgments on the significance of effects be fully explained and justified and be based on judgments of the potential effects identified, their magnitude and the sensitivity of the receptor affected".

3.7 English Heritage provided comments in relation to the townscape, built heritage and visual assessment as part of the Scoping Opinion. They requested that designated heritage assets in the vicinity of the site be assessed, including the Grade I Listed Church of St Peter and the following conservation areas and Grade II Listed buildings within the conservation areas: Liverpool Grove; Grosvenor Park; Addington Square and Coburg Road. They also requested that the London View Management Framework (LVMF) SPG view from Alexandra Palace be included to assess the visibility of the site from that distance. All of the heritage assets and the Alexandra Palace LVMF View suggested by English Heritage have been assessed as part of this assessment.

3.8 English Heritage also requested that this assessment methodology should refer to the following published guidance: NPPF, LVMF SPG, English Heritage's 'The Setting of Heritage Assets' (2011) and the joint English Heritage/Cabe Guidance on Tall Buildings (2007). These documents have been reviewed within Section 2.0 and incorporated into this methodology.

3.9 Extensive consultation was undertaken with the London Borough of Southwark on both the FDS and Masterplan design during fortnightly meetings with the planners and other Council Officers between April and August 2014. Three meetings with Southwark's Design Review Panel were also held between March 2014 and August 2014 and the GLA were consulted on 22 August 2014. The design, massing, building heights and townscape design were discussed in each of these meetings.

3.10 Southwark Council were also consulted regarding the viewpoints for the visual assessment. This included a review of the chosen verified viewpoints and signoff of the photographs used for the assessment. It was

agreed with the Council that the assessment of the winter views could be provided post submission of the planning applications. The number of views to be assessed for winter views is to be decided following a review of the impact of trees and other vegetation on the summer views.

Method of Baseline Data Collation

- 3.11 The assessment of the likely effects of the Proposed Development on the townscape character, built heritage and visual amenity of the local area and its surroundings has been undertaken through a combination of desk based study, site visits and other assessments with the intention of determining the existing baseline townscape resources, identification of local townscape character and quality, and existing visual amenity.
- 3.12 Desk Study: Preliminary data collection methods focused on reviewing existing information including planning documents, aerial photographs, Ordnance Survey Data and character assessments.
- 3.13 Site Visits: Site Visits to the study area were undertaken from March through to October 2014. Site visits took place in clear weather conditions in order to allow a comprehensive review of local character, context, views and other significant elements of the built form. Site visits also took place in relation to establishing key view points and obtaining view point photographic materials.

Extent of the Study Area

- 3.14 The site covered by the two planning applications measures 30 hectares in total and is situated within the London Borough of Southwark, which lies close to the heart of Central London.
- 3.15 First Development Site (FDS): The FDS is situated within the south western extent of the existing Aylesbury Estate between sites 1a and 2a with Westmoreland Road forming the northern boundary of the site, Portland Street the eastern boundary and Albany Road its southern boundary, beyond which lies Burgess Park. The Site 1a situated directly west of the FDS has been previously developed by L&Q.
- 3.16 Masterplan Application: The southern boundary of the Outline Application site is formed by Albany Road, with Burgess Park lying beyond. The western boundary of the site comprises Portland Street and Dawes Street with Bagshot Street, Alvey Street and Thurlow Street forming eastern site boundaries. East Street, Site 7 (currently under construction), and the houses to the south of Merrow Street form the northern boundary of the site.

Built Heritage Study Area

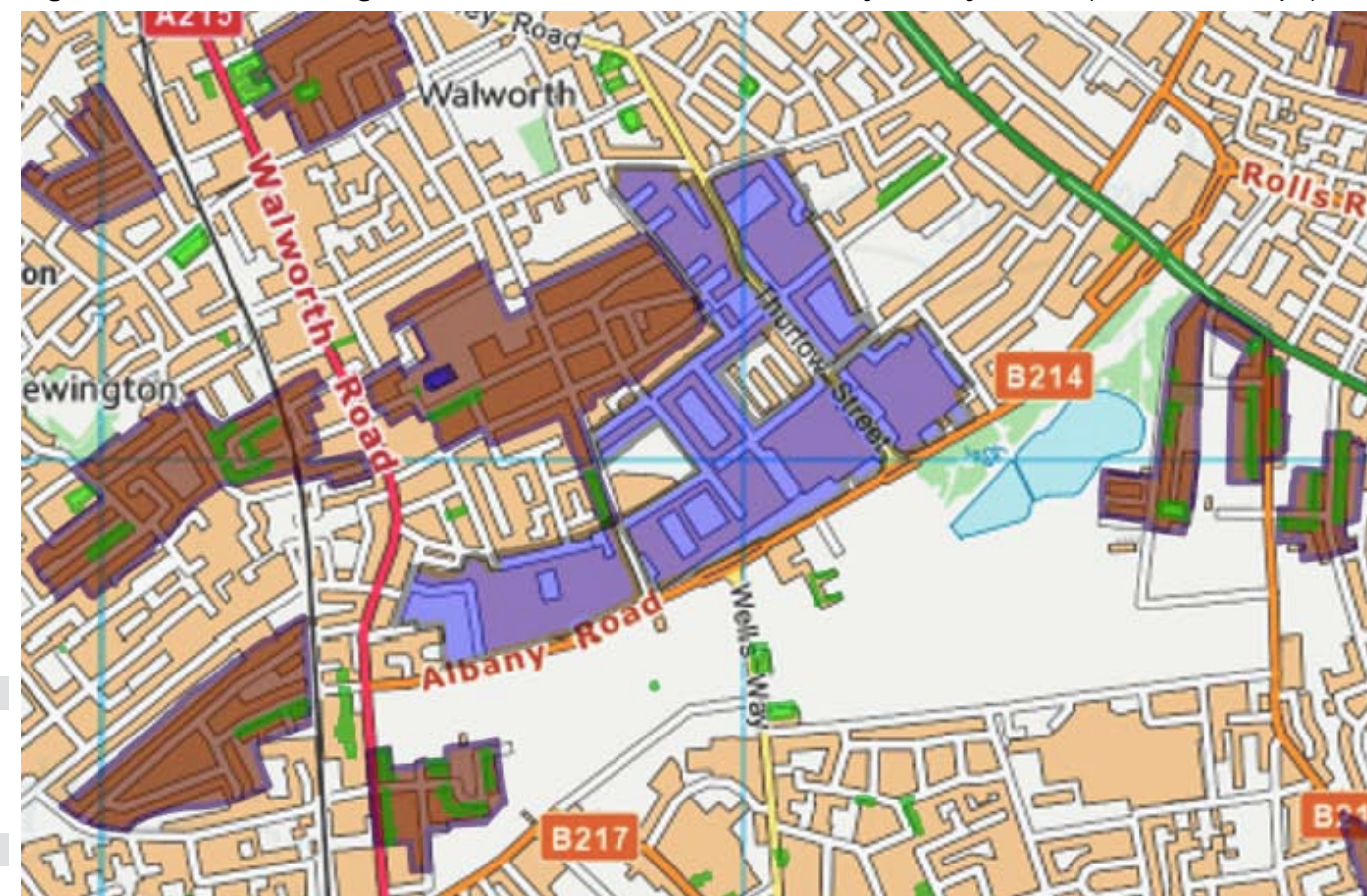
- 3.17 A number of listed structures have been identified within close proximity to the boundaries of both application sites, all of which are designated as Grade II listed structures with the exception of the Grade I listed Church of St Peter's located approximately 300m to the north. The listed structures within the conservation areas and a number not in conservation areas whose setting may be influenced by the proposed development were included in the assessment. Refer Figure 3.1 for location of the listed buildings.
- 3.18 There are also a number of conservation areas in close proximity of the site. Only the Liverpool Grove conservation area is adjacent the Estate

boundary, although two others, Coburg Road and Addington Square, are within view of the proposed development. However, all of the conservation areas identified by English Heritage were included within the study area. Refer Figure 3.1 for location of the conservation areas.

- 3.19 One designated London Square, Addington Square, is located within view of the development site within the Addington Square conservation area.
- 3.20 No listed buildings or designated features have been identified within the development site. The development site is not located in an Archaeological Priority Zone.

Figure 3.1 Listed Buildings and Conservation Areas around Aylesbury Estate (Southwark Maps)

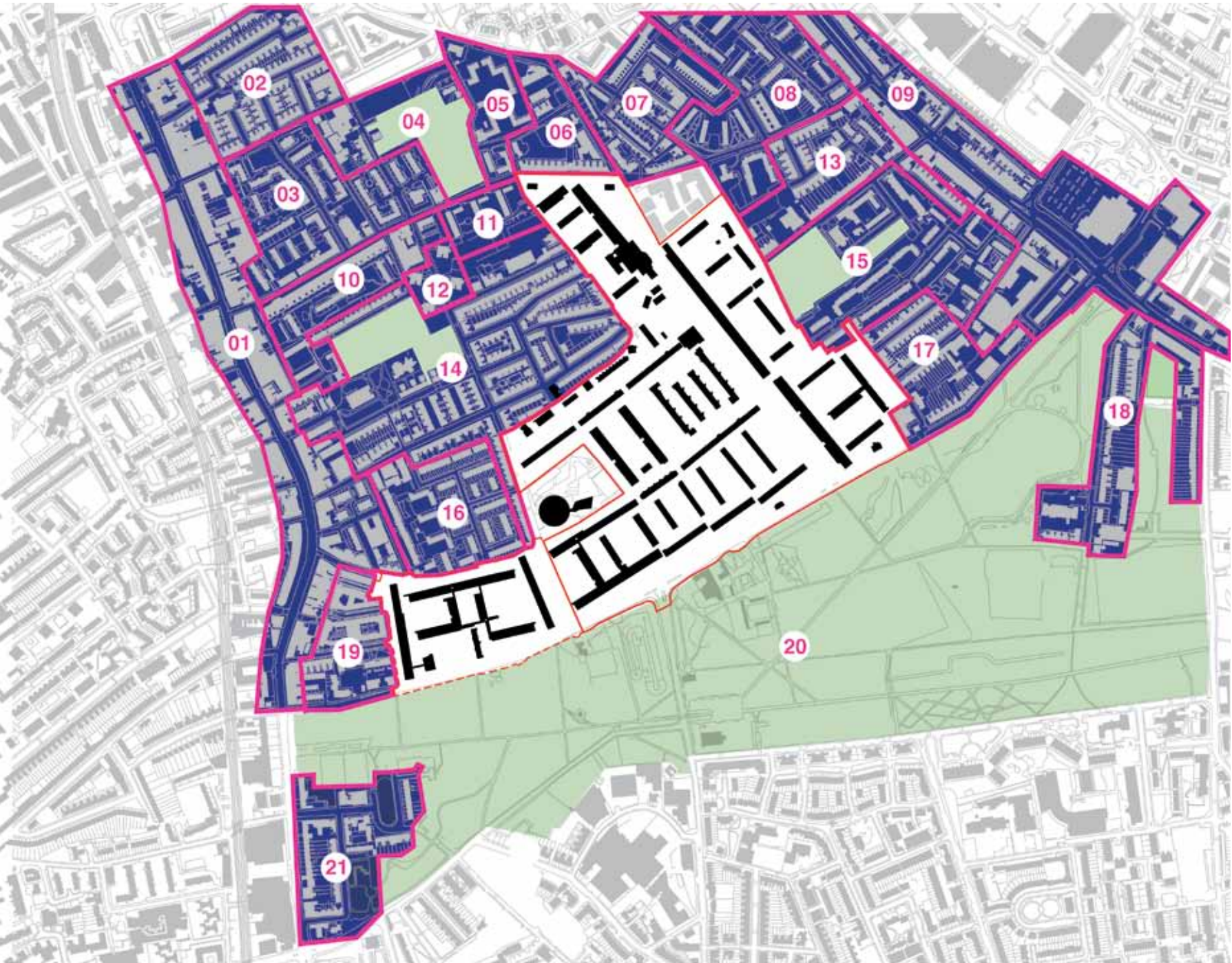
- The Aylesbury estate boundary
- Listed buildings
- Listed buildings Grade I
- Listed buildings Grade II
- Listed buildings Grade II star
- Conservation areas
- Conservation areas



Townscape Study Area

- 3.21 The study of the townscape considered the area surrounding the development site boundary to define the townscape character areas that could be affected by the proposed development.
- 3.22 Physical components of the existing local townscape were established based on the study of the historic development and current condition of the area. The following different factors, identified by GLVIA, were analysed to understand the nature of the townscape and define the townscape character areas:
- The context or setting of the urban area and its relationship to the wider landscape;
 - Topography and its relationship to urban form;
 - The grain of the built form and its relationship to historic patterns;
 - Layout and scale of the buildings, density of development and building types, including architectural qualities, period and materials;
 - Patterns of land-use, both past and present;
 - Contribution to the landscape of water bodies, water courses and other water features;
 - Nature and location of vegetation, including the different types of green space and tree cover and their relationships to buildings and streets;
 - Types of open space and the character and qualities of the public realm; access and connectivity, including streets and footways/ pavements.
- 3.23 Refer to the Figure opposite for location of the townscape character areas.

Townscape Character Areas



- | | | |
|------------------------------------|---------------------------------------|--|
| 1. Walworth Road | 9. Old Kent Road | 17. Bagshot Area |
| 2. Larcom Street Conservation Area | 10. Nelson Estate | 18. Albany Place |
| 3. Browning Estate | 11. Kingston Estate | 19. Coburg Road Conservation Area |
| 4. Nursery Park Row | 12. Portland Estate | 20. Burgess Park |
| 5. Rodney Estate | 13. North of Surrey Square | 21. Addington Square Conservation Area |
| 6. Victorian East Street | 14. Liverpool Grove Conservation Area | |
| 7. Elsted Street Area | 15. Surrey Square Park | |
| 8. Alvey and Congreve Estates | 16. Elizabeth Estate | |

Visual Assessment Study Area

- 3.24 The visual assessment evaluates and describes likely changes to the character of views resulting from the proposed development.
- 3.25 In order to establish the nature and extent of views to the Estate, a visual appraisal was undertaken through the review of relevant documents and maps and verified during a number of site visits. The aim of the visual appraisal was to establish the area in which the development may be visible, the various groups of people who may experience views of the development, the viewpoints where they will be affected and the nature of the views at those points.
- 3.26 The Landscape Institute and IEMA Guidelines highlight the value attributed to public views as they have greater value than those attributed to views from private property due to the views being experienced by a greater number of individuals. Furthermore, public views can be assessed easily through the use of surveyed viewing points. Thus all viewpoints were taken from areas accessible to the public such as open space/parks and roads.
- 3.27 The final viewpoints used for the assessment took the following range of factors, as defined in the GLVIA (page 109), into consideration:
- Accessibility to the public;
 - Potential number and sensitivity of viewers who may be affected;
 - Viewing direction, distance (i.e. short, medium and long distance views) and elevation;
 - Nature of the viewing experience
 - View type (i.e. panoramas, vistas and glimpses); and
 - Potential for cumulative views of the proposed development in conjunction with other developments.
- 3.28 The key sensitive receptors considered included conservation areas within view of the estate (Liverpool Grove, Addington Square and Coburg Road Conservation Areas), Listed Buildings not within conservation areas that are

within view of the estate (20-54 Surrey Square and Groundwork Trust Offices on Wells Way), parks and open space where people undertake recreation within view of the estate (Burgess Park, Surrey Square Park and Nursery Row Park), roads used by a large number of users (Walworth Road, Albany Road, Portland Street, Wells Way, Flint Street and Old Kent Road), and highpoints within the relatively flat landscape of south London (mounds within Nursery Row Park and Burgess Park). The LMVF viewpoint from Alexandra Palace was also included as requested by English Heritage.

- 3.29 The key representative viewpoints were set after careful consideration and discussions with representatives from Southwark Council. A number of views were considered as part of this process. However after robust discussions with the Council, it was concluded that some of the views could be disregarded as they do not impact negatively on the local and wider area due to their distance from the development and the topography of the site and surrounding area. The location of the disregarded views can be seen in the Appendix.
- 3.30 A total of 18 views were selected for the visual assessment in consultation with the Council.

Built Heritage Assessment Methodology

- 3.31 HTA Design undertook comprehensive assessment of the contribution and relationship of the development proposals on individual heritage assets situated within the Estate and/or its vicinity. The heritage assessment assesses the contribution/impact of the proposed development on the setting of the heritage assets and the level of their significance. Grade I and II listed buildings and conservation areas around the Estate, as identified above, were analysed.
- 3.32 Analysing likely significance of impact on heritage assets requires particular consideration of each heritage asset in terms of its value and its setting. It is important to note that 'setting' does not have a fixed defined boundary and that the significance of a heritage asset changes over time with the evolution of the area it is situated within. Therefore, it is the sensitivity of an asset and its setting to change that influences the likely extent and severity of impacts.
- 3.33 Not all heritage assets have the same capacity to accommodate change. Their capacity may vary based on numerous factors, such as, but not restricted to, the nature of the change proposed, the characteristics of the asset or certain aspects of the setting contributing more than others to the significance of an asset.
- 3.34 Table 3.1 identifies the criteria used to determine the value/importance of heritage assets and their sensitivity to change.
- 3.35 The assessment of the magnitude of impact of the development on the heritage assets is, as far as possible, objective, reasoned and quantifiable. The extent to which the heritage significance may be changed or affected by the proposed development has been considered.
- 3.36 Whilst the design quality of the proposed development has not been assessed, the extent to which specific design parameters influence the impact of the development upon the heritage significance has been considered to determine whether aspects of the design such as scale, mass, silhouette, and reflectivity is relevant to impact on heritage significance within the view.

- 3.37 The level of impact has been recorded on a seven-point scale, as identified in Table 3.2, as suggested by English Heritage's 'Seeing History in the View'. Similarly, the impact of the cumulative proposals has also been assessed using the criteria in Table 3.2. This information is used to then assess the overall impact of the proposed development on the heritage assets (Table 3.3).

Table 3.1 Value/importance of individual heritage assets and their sensitivity to change

VALUE/ IMPORTANCE	ASSET	SENSITIVITY TO CHANGE
High	World Heritage Site, Grade I or II* listed building, scheduled monument, grade I or II* historic park and garden or historic battlefield which is a central focus of the view and whose significance is well represented in the view.	High
Medium	Grade II listed building, grade II historic park and garden, conservation area, locally listed building or other locally identified heritage resource which is a central focus of the view and whose significance is well represented in the view. The asset may also be a World Heritage Site, grade I or II* listed building, scheduled monument, grade I or II* historic park and garden or historic battlefield which does not form a main focus of the view but whose significance is still well represented in the view.	Medium
Low	Grade II listed building, grade II historic park and garden, conservation area, locally listed building or other locally identified heritage resource which does not form a main focus of the view but whose significance is still well represented in the view.	Low

Source: Extract from Table 1 (page19), English Heritage, 2011, *Seeing the History in the View: A Method for Assessing Heritage Significance within Views*

Table 3.3 Determining Overall Impact

		SENSITIVITY OF RECEPTOR/ RECEIVING ENVIRONMENT TO CHANGE/ EFFECT		
		High	Medium	Low
MAGNITUDE OF CHANGE/ EFFECT	High	Major	Moderate to Major	Minor to Moderate
	Medium	Moderate to Major	Moderate	Minor
	Low	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 3.2 Criteria for determining magnitude of impact on heritage significance within a view

MAGNITUDE OF IMPACT	DEFINITION
Major beneficial	The development considerably enhances the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Moderate beneficial	The development enhances to a clearly discernible extent the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Minor beneficial	The development enhances to a minor extent the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Negligible	The development does not affect the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Minor adverse	The development erodes to a minor extent the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Moderate adverse	The development erodes to a clearly discernible extent the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.
Major adverse	The development severely erodes the heritage values of the heritage assets in the view, or the view as a whole, or the ability to appreciate those values.

Source: Modification of Table 3 (page22), English Heritage, 2011, *Seeing the History in the View: A Method for Assessing Heritage Significance within Views*

Townscape Assessment Methodology

- 3.38 HTA Design undertook comprehensive assessment of the contribution and relationship of the development proposals with the existing townscape. The assessment identifies the likely scale and nature of change in relation to individual townscape elements and characteristics, as well as any effects on character, which are likely to result from the proposed development.
- 3.39 This is not a technical assessment, but an assessment which combines the quantitative methods of site analysis mapping and the qualitative assessment of photographs and visualisations of the proposed development to form a holistic understanding of the townscape features of the area surrounding the site, identify the sensitivity of the character area to change and to establish the impact of the proposals. This is assessed based on the character of the area as a whole as well as in terms of individual elements that contribute to its character. The following factors and attributes that possess the ability to affect the townscape's character and value were analysed and assessed:
- Location and context of the viewpoint;
 - Expectations and occupation/activity of the receptor;
 - The significance of the view, and;
 - Degree of exposure to the view.
- 3.40 The sensitivity of the character area and level of impact in terms of scale, position in a view, or design has been recorded using the criteria in Tables 3.4 and 3.5, and the significance of these affects determined using the criteria in Table 3.6. The impact of the cumulative proposals has also been assessed using Tables 3.5 and 3.6. This information was then used to assess the overall impact of the proposed developments on the townscape character areas using the criteria in Table 3.3.

Table 3.4 Townscape Sensitivity to Change

SENSITIVITY	DEFINITION
High	Internationally or nationally valued townscapes, including conservation areas, registered parks and gardens or public open space, that has a limited tolerance to change or components that are not easily replaced or substituted, has limited scope for effective mitigation, or is well maintained and in good condition
Medium	Locally valued townscapes that are fairly tolerant to change, has components that are easily replaced or substituted, has scope for mitigation or is in a fair condition
Low	Townscapes that are not nationally or locally designated, has few or no distinctive components, has components that can be easily replaced or substituted, has scope for mitigation, or is in a poor condition

Table 3.5 Townscape Magnitude of Change

MAGNITUDE OF IMPACT	DEFINITION
High	Total loss or substantial alteration to key characteristics of the character and/or setting of the character area. Addition of new features or components that substantially alter the character and/or setting of the character area.
Medium	Noticeable change or alteration to one or more key characteristics of the character and/or setting of the character area. Addition of new features or components that form prominent elements of the character and/or setting of the character area, but are largely characteristic of the existing setting.
Low	Slight loss or alteration to one or more characteristics of the character and/or setting of the character area. Addition of new features or components that form largely inconspicuous elements of the existing character and/or setting.
Negligible	No change to, or barely perceptible loss or alteration of inconspicuous characteristics of the character and/or setting of the character area. Addition of new features or components that do not influence the overall character and/or setting of the character area, or are entirely characteristic of the existing setting.

Table 3.6 Townscape Significance of Effects

MAGNITUDE OF IMPACT	DEFINITION
Major beneficial	Marked improvement and enhancement of the existing character. Restoration of valued characteristic features substantially or entirely lost through other land uses.
Moderate beneficial	Noticeable improvement and enhancement of the existing character. Restoration of valued characteristic features substantially lost through other land uses.
Minor beneficial	Discernible improvement and enhancement of the existing character. Restoration of valued characteristic features partially lost through other land uses.
Negligible	No perceptible deterioration or improvement to the existing character.
Minor adverse	Discernible deterioration of the existing character.
Moderate adverse	Noticeable deterioration of the existing character. Likely to be judged as adverse at a local level and not be wholly compatible with local environmental policies for the protection and enhancement of landscape.
Major adverse	Marked deterioration of the existing character that would permanently degrade, diminish or destroy the integrity of valued characteristic features, elements and/or their setting. Likely to be judged adverse at a national or regional level and conflict with national, regional or local environmental policies for the protection and enhancement of the landscape.

Visual Assessment Methodology

- 3.41 HTA Design and GMJ have produced the visual assessment of the development and its surrounding areas based on analysis of both sites from strategic viewpoints. The viewpoints were chosen through the process identified in Visual Assessment Study Area section above.
- 3.42 Photographical equipment was used by GMJ to produce verifiable photographs presenting the location of each viewpoint. Visualisations of the proposed developments and cumulative schemes were produced by GMJ and HTA Design LLP. Full details of GMJ’s visualisation methodology can be found in the Appendix of this document.
- 3.43 As the FDS site is to be constructed first but also forms part of the wider Masterplan, the potential visual impacts of the FDS development was assessed with the outline masterplan. The following views were created for the visual assessment of the two applications:
- First Development Site Application (FDS Application): existing condition, proposed FDS development wireline views, proposed FDS development and cumulative wireline views, three number proposed FDS development illustrative views
 - Site Wide Development Option: existing condition, proposed FDS development and masterplan maximum and minimum parameters wireline views, proposed FDS development and masterplan application maximum parameters with cumulative schemes wireline views.
- 3.44 Due to the timing of the project, the visual assessment and baseline photography have been undertaken in the summer. Relevant differences between summer and winter views have been identified where assessed.
- 3.45 The visualisations allowed the establishment of the impact of the proposals on the existing townscape and visual amenity of the area surrounding the Estate. The following is a list of categories used to describe the degree of view:

- No view: views from/to the site blocked by visual natural and manmade barriers, such as vegetation or built fabric
 - Partial View: partial obstruction of views to/from the site
 - Full, Open View: a clear view of significant proportion of the Site
- 3.46 The extent and severity of the potential impact of the proposal on the local area is influenced by the sensitivity of the area to change. The visual sensitivity was determined by assessing the sensitivity of visual receptors using the criteria in Table 3.7. The degree of alteration in the baseline view, which is likely to result from the loss or change of baseline elements, was judged for each visual receptor based on the criteria in Table 3.8 and the overall significance of the effects identified using the criteria in Table 3.9. This information was used to assess the overall visual impact of the proposed developments using the criteria in Table 3.3.

Table 3.7 Visual Sensitivity to Change

SENSITIVITY	DEFINITION
High	Occupiers of residential properties Recreational users or tourists, on rights of way and in recreation areas where attention is focussed on the landscape Designated or protected views
Medium	People travelling along scenic roads where the focus may be on the landscape. People staying in hotels and healthcare institutions
Low	People at work and in educational institutions. People engaged in formal sports activities. People walking and travelling through urban areas and on main roads where the focus of attention is unlikely to be on the landscape.

Table 3.8 Visual Magnitude of Change

SIGNIFICANCE CRITERIA	MAGNITUDE OF CHANGE
Major	Large scale changes that would alter the overall perception of the view
Moderate	Changes to a view that would be readily noticeable but would not change the overall perception of the view
Minor	Small scale visual changes that may be missed by the casual observer or receptor
Negligible	Changes that would barely be perceptible to the naked eye

Table 3.9 Significance of Effects for Visual Assessment

MAGNITUDE OF IMPACT	DEFINITION
Major beneficial	Marked improvement on the existing view
Moderate beneficial	Noticeable improvement on the existing view
Minor beneficial	Discernible improvement on the existing view
Negligible	No perceptible deterioration or improvement on the existing view
Minor adverse	Discernible deterioration on the existing view
Moderate adverse	Noticeable deterioration on the existing view
Major adverse	Marked deterioration on the existing view

Tall Buildings Assessment Methodology

3.47 The ambition of tall building's very nature aims to add richness to the urban scene. Well designed and carefully thought through proposals for tall buildings can mitigate any potential negative effects of intrusion through delivering positive effects, such as enhancing social interaction or providing active frontages.

3.48 The tall building assessment involved the following steps:

- The definition of a tall building
- Identifying proposed tall buildings within the proposed development by reviewing policy guidelines, including buildings proposed taller than that approved by the Aylesbury AAP
- Assessing the impact of proposed tall buildings, in particular whether they will have a similar or greater impact on the townscape
- Assessing the impact of the development proposals on the London Strategic View Management Framework.

3.49 The assessment follows the criteria established in the English Heritage and CABE's publication "Guidance on tall buildings" (2007). Paragraph 4.4 of the guidance states: "To be acceptable, any new tall building should be in an appropriate location, should be of excellent design quality in its own right and should enhance the qualities of its immediate location and wider setting. It should produce more benefits than costs to the lives of those affected by it. Failure on any of these grounds will make a proposal unacceptable to CABE and English Heritage". The document lists 11 criteria to ensure that tall buildings would be acceptable, including:

- The **relationship to context**, including natural topography, scale, height, urban grain, streetscape and built form, open spaces, rivers and waterways, important views, prospects and panoramas, and the effect on the skyline.
- The **effect on the historic context**, including the need to ensure that the proposal will preserve and/or enhance

historic buildings, sites, landscapes and skylines. Tall building proposals must address their effect on the setting of, and views to and from historic buildings, sites and landscapes over a wide area including:

- world heritage sites
- scheduled ancient monuments
- listed buildings
- registered parks and gardens, and registered battlefields
- archaeological remains
- conservation areas

- The **effect on world heritage sites**.
- The **relationship to transport infrastructure**, aviation constraints, and, in particular, the capacity of public transport, the quality of links between transport and the site, and the feasibility of making improvements, where appropriate.
- The **architectural quality of the building** including its scale, form, massing, proportion and silhouette, facing materials and relationship to other structures.
- The **sustainable design and construction of the proposal**. For all forms of development, good design means sustainable design. Tall buildings should set exemplary standards in design because of their high profile and local impact.
- The **credibility of the design**, both technically and financially. Tall buildings are expensive to build, so it is important to be sure that the high standard of architectural quality required is not diluted throughout the process of procurement, detailed design, and construction.
- The **contribution to public space and facilities**, both internal and external, that the development will make in the area, including the provision of a mix of uses, especially on the ground floor of towers, and the inclusion of these areas as part of the public realm. The development should interact with and contribute positively to its surroundings at street level; it should contribute to safety, diversity, vitality, social engagement and 'sense of place'.

- The **effect on the local environment**, including microclimate, overshadowing, night-time appearance, vehicle movements and the environment and amenity of those in the vicinity of the building.
- The **contribution to the permeability** of a site and the wider area; opportunities to offer improved accessibility, and, where appropriate, the opening up, or effective closure, of views to improve the legibility of the city and the wider townscape.
- The **provision of a well designed environment**, both internal and external, that contributes to the quality of life of those who use the buildings, including function, fitness for purpose and amenity.

Cumulative Effects

3.50 Cumulative effects can impact the visual amenity arising from the proposed development when the combined proposed development and other development proposals within the vicinity of the site and its surroundings are assessed. Thus, the cumulative effects of the collective development of the proposal site and other relevant committed developments previously approved and others as appropriate were taken into account in order to determine likely significant environmental effects associated with them. Table 3.10 is the list of cumulative schemes assessed and Figure xxx shows their location in relation to the development sites.

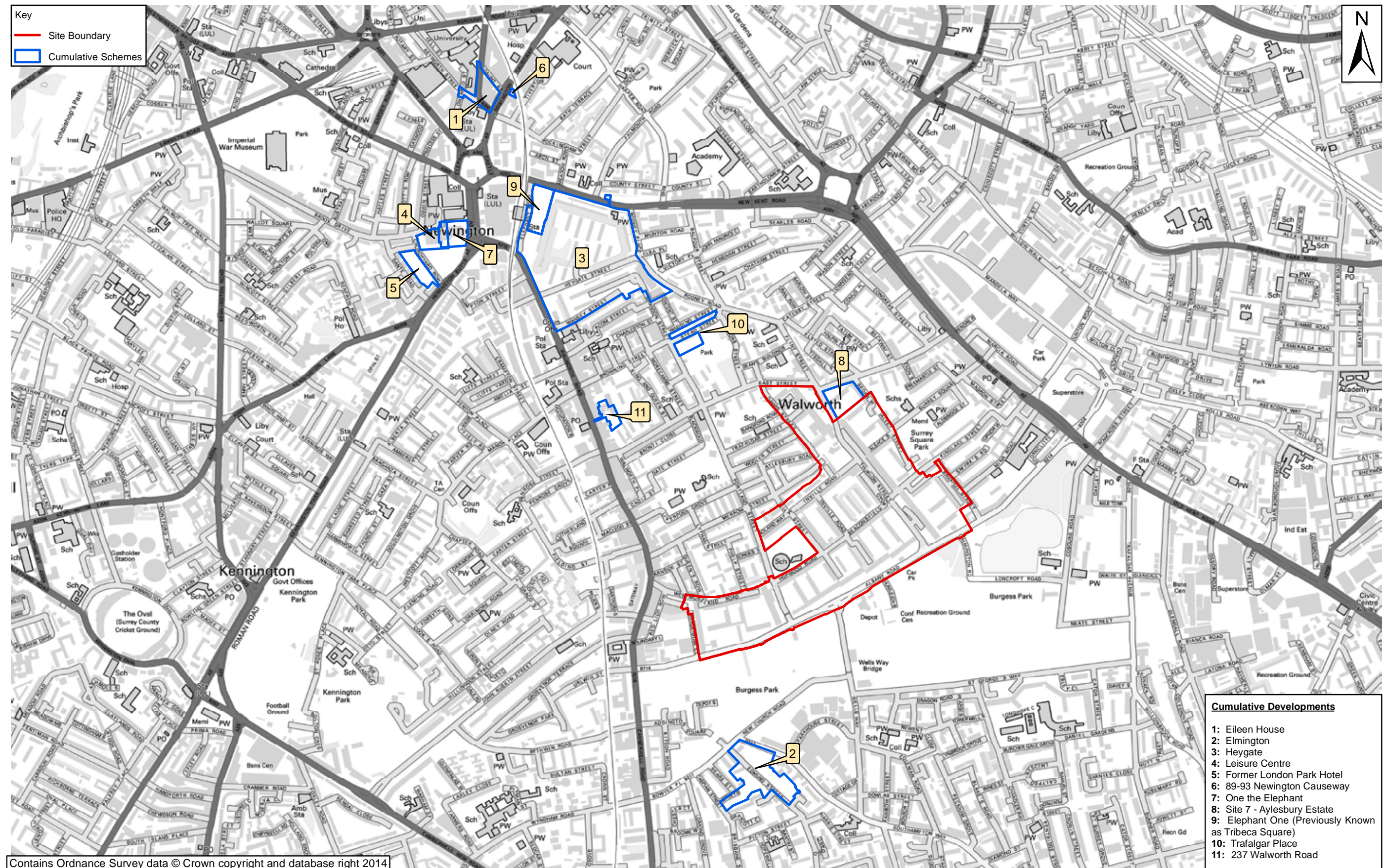
Table 3.10 Cumulative Schemes

DEVELOPMENT	REFERENCE	DESCRIPTION
Eileen House	09/AP/0343	Demolition of existing building and erection of a 41 storey (128.7m AOD) building and separate 8 storey (35.60m AOD) building incorporating 270 private flats (16 x studio, 126 x 1-bed, 92 x 2-bed and 36 x 3-bed), 65 intermediate flats (17 x 1-bed, 44 x 2-bed and 4 x 3-bed), 4,785sq.m. of office (Use Class B1) and 287 sq.m. of retail (Use Class A1-A5), together with 34 disabled car parking spaces, 44 motorcycle spaces and 411 cycle spaces within 2 basement levels, plus associated servicing facilities (4,626sq.m.) and public realm improvements including creation of a resident's garden (458sq.m.) and University Square (2,768sq.m.)
Elmington	11/AP/4309	Demolition of existing buildings and redevelopment of the site comprising new buildings ranging from 3 to 7 storeys in height to provide 279 residential units (96 x 1 bed, 124 x 2 bed, 57 x 3 bed, 2 x 4 bed) together with the construction of a new road, pedestrian and cycle routes and new access to the public highway, car and cycle parking, energy centre, open space and landscaping.
Heygate	12/AP/1092	Outline application for: Redevelopment to provide a mixed use development comprising a number of buildings ranging between 13.13m (AOD) and 104.8m (AOD) in height with capacity for between 2,300 (min) and 2,469 (max) residential units together with retail (Class A1-A5), business (Class B1), leisure and community (Class D2 and D1), energy centre (sui generis) uses. New landscaping, park and public realm, car parking, means of access and other associated works. The application is accompanied by an Environmental Statement submitted pursuant to the Town and Country Planning (Environmental Impact Assessment) 2011.
Leisure Centre	12/AP/2570	Redevelopment to provide a new public leisure centre (maximum height of 21.2m) comprising swimming pool, learner pool, gymnasium, four court sports hall, studio spaces, indoor cycling room, creche and cafe, disabled parking, cycle parking, landscaping and public realm, servicing and plant areas. This development may affect the setting of a Listed Building(s)
Former London Park Hotel	07/AP/0760	Erection of buildings comprising 1 building of up to 44 storeys (145.5 metres AOD) and a terrace of up to 7 storeys in height to provide 470 residential flats (Class C3), theatre (Class D2) and cafe (Class A3) uses and a pavilion building for retail/ marketing suite purposes (Class A1/ Sui Generis) with associated public open space, landscaping, underground car parking for 30 cars and servicing space.
Newington Causeway	09/AP/1940	Demolition of existing building and erection of a 22 storey mixed use building (max. building height 69.82m AOD) incorporating a 65sq.m cafe/kiosk (Use Class A3) over ground and mezzanine floors, 366sq.m of commercial floorspace (Use Class B1) from ground to second floor level, with 38 residential units above (10x 1 bed, 24x 2 bed and 4x 3 bed), 50 cycle spaces over ground/ mezzanine floors with 6 visitor cycle spaces external to the building, in addition to a basement area containing plant and an energy centre, and two wind turbines sited at rooftop level.

Table 3.10 Cumulative Schemes cont.

DEVELOPMENT	REFERENCE	DESCRIPTION
One the Elephant	12/AP/2239	Redevelopment to provide a 37 storey building (maximum building height 127m AOD) and 4 storey pavilion building (maximum building height 22.47m AOD), comprising 284 residential units, 809 sq.m flexible ground floor retail / financial and professional services / restaurant uses (Use Classes A1-A3) and 413 sq.m commercial (Use Class B1) use, basement car parking, cycle parking, vehicular access from Brook Drive, servicing and plant areas, landscaping and public realm improvements and associated works.
Site 7 Aylesbury	12/AP/2332	Demolition of existing buildings and redevelopment of the site to provide 147 residential units including flats, maisonettes and houses (30 x 1 bed, 71 x 2 bed, 13 x 3 bed, 28 x 4 bed, 5 x 5 bed) of which 58% would be affordable housing. The proposed residential blocks range between 3 and 10 storeys in height (10 Storeys at Thurlow Street) with a basement car park together with new vehicle access, plant, landscaping, cycle storage and refuse/recycling facilities.
Elephant One	08/AP/2403	Erection of 3 buildings linked by a two storey podium incorporating retail and restaurant use across the ground floor (Use Classes A1/A3), retail/ restaurant/ creche and cinema use across the first and mezzanine floors (Use Classes A1/ A3/D1/D2) and basement car parking with associated storage facilities together with new landscaping to link to a proposed market square and 577 cycle spaces. Northern building located on New Kent Road to consist of 243 student rooms (Use Class C2) over 18 storeys above podium level (68.3mAOD, lift overrun to 70.7m); Western building along Elephant Road to consist of 262 private residential units (Use Class C3) over 23 storeys above podium level (87.5mAOD); Southern building to consist of 111 private residential units (Use Class C3) over 15 storeys above podium level (63.10mAOD). [RESUBMISSION]
Trafalgar Place	12/AP/1455	Demolition of existing buildings, and construction of new buildings ranging in height between 4 and 7 storeys, to provide a total of 140 residential units (19x 1 bed, 85x 2 beds, 32x 3 beds and 4x 4 beds) a 244sqm church hall (use class D1), and a 117sqm retail unit (use class A1); with associated landscaping, amenity space and residential car parking and cycle storage spaces.
Walworth Road 1	14/AP/0833	Erection of two buildings, one a 5 storey building plus lower ground floor and part basement plant room to provide student accommodation (143 bedspaces) (Sui generis) and medical centre (Class D1) and the other a part 2, part 3, part 4 storey building together with a single storey extension to the flying freehold to provide 4 dwelling houses and 3 dwellings (Class C3), the provision of four disabled car parking spaces, cycle parking and associated landscaping works
Walworth Road 2	14/AP/0830	Erection of two buildings, one a part 5, part 6 storey building plus lower ground floor and part basement plant room and the other a part 2, part 3, part 4 storey building together with a single storey extension to the flying freehold to provide 68 residential units (comprising a mix of 19 x 1 bed, 42 x 2 bed, 3 x 3 bed, 2 x 4 bed and 2 x 5 bed) the provision of four disabled car parking spaces, cycle parking and associated landscaping works.

Location of Cumulative Schemes



4.0 VISUAL CHARACTERISTICS OF THE PROPOSED DEVELOPMENT

INTRODUCTION

4.1 The following key townscape principles form the basis of the design of the proposed development:

- Reconnecting the Site to the wider area through a wide-scale urban framework
- Create a development that seamlessly blends in with the near context through a network of streets
- Delivering a successful place with a mixture of uses and levels of activity;
- Creating high-quality public realm and a network of open spaces varying in character and scale
- Create clusters of connected neighbourhoods each with distinct qualities and character that responding to the context and to the edge conditions

4.2 The Design Code submitted for approval as part of the outline planning application has been developed to ensure consistent, high quality design across the Development. It includes guidance at site-wide level and per Character Area. Both levels of guidance add detail to the Parameters Plans, also submitted for approval as part of this planning application.

4.3 In addition, the FDS is submitted for approval in detail and it constitutes an example of how the guidance can be interpreted, while establishing upfront the expected quality of the visual characteristics of the development to be submitted at reserved matters stage.

4.4 The following sections of this chapter present a brief summary of the key features determining the visual characteristics of the development proposal. They include aspects in terms of:

- Layout
- Scale and massing
- Appearance
- Character areas

Further information with regard to visual characteristics of the proposed development can be found in the FDS and the Masterplan Design and Access Statements.

Aylesbury Illustrative Masterplan



LAYOUT

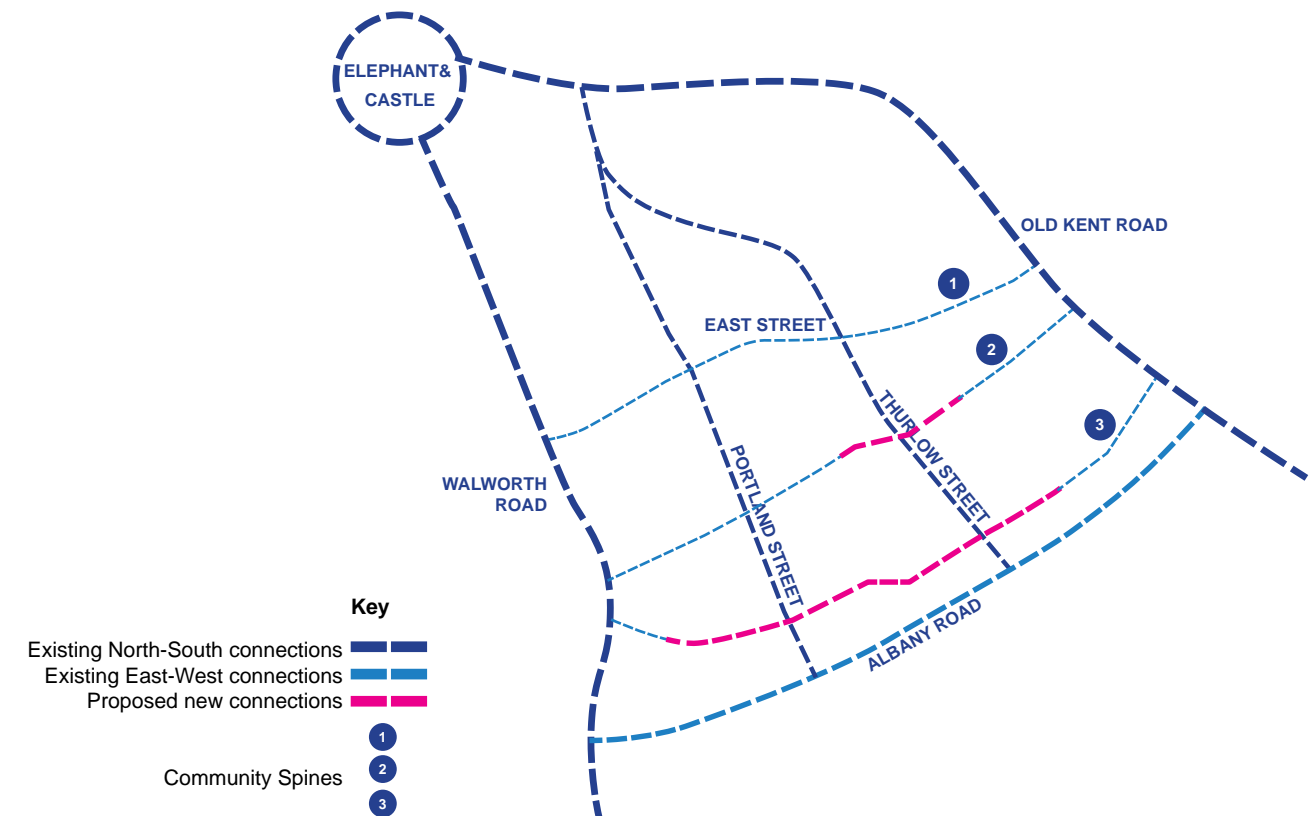
4.5 The proposed masterplan layout derives from the fundamental principle of re-creating streets, and bringing back to this area a street layout comparable in scale and following the principles of the most successful parts of London, which are resilient to changing and hold up values. The layout is based on a grid of streets that allow for movement through the site, overlaid with a network of open spaces. This layout aims to re-establish legibility for this part of London.

Movement and connections

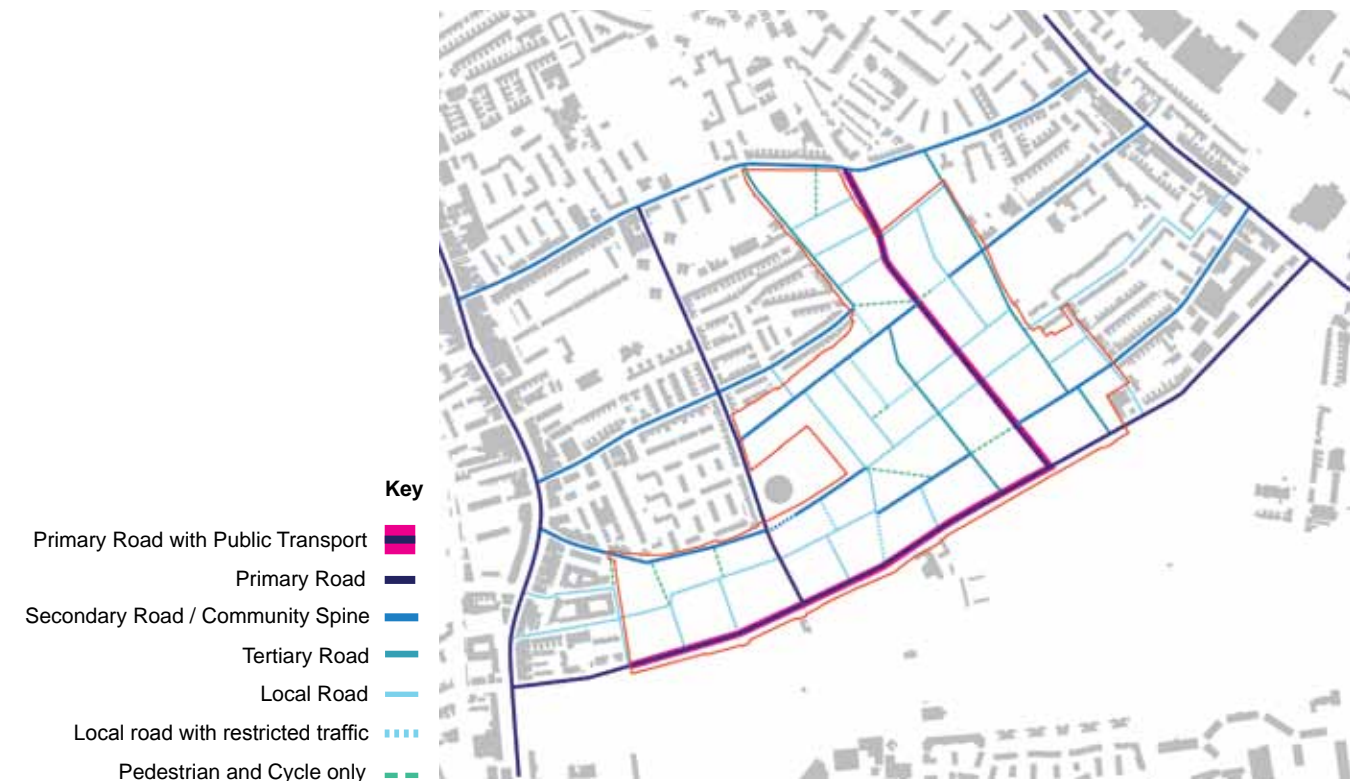
- 4.6 The broad urban structure of the proposed development, understood as the framework that binds together streets, spaces and landscape to create a place, provides the foundations for a seamless integration of the new development into the surroundings.
- 4.7 The proposed wider-scale connections will open up the site to the surroundings, and also allow for connections to take place at the neighbourhood scale. Furthermore, the wider-scale framework aims to strengthen the identity of Walworth as a whole, as a coherent location.
- 4.8 Figure 4.3 illustrates diagrammatically the proposed wide-scale urban framework. North-South movement between Burgess Park and Elephant and Castle will be maintained through Thurlow Street and Portland Street which will be upgraded in the sections included within the development. East-West wider-scale movement will be re-established with the proposed masterplan. They are three routes including new and existing streets, which have been designated as Community-Spines in the masterplan. They are: 1) the existing East Street corridor, 2) the Merrow Street / Surrey Square corridor articulated through the proposed Aylesbury Square, and 3) the newly created Aylesbury Community Spine, including Westmoreland Road, Hopwood Road, Gaitskell Park through to Thurlow Park and Mina Road.

- 4.9 Within this framework, a network of new local streets ensures that the new development continues the scale of the neighbouring area. The placement of the new streets has been strategically located with respect to existing streets, to ensure implementation of continuous routes and easy movement. It also reflects pedestrian movement patterns and desire lines.
- 4.10 Visually, the proposed streets will resemble traditional local London streets, human in scale with parking and footpaths on both sides, well-framed by frontgardens of brick-terraced houses and mansion blocks. Street landscape, including trees, green verges and other planting, will add green to the proposed streetscape.

Wider-scale connections



Framework of Streets



PUBLIC OPEN SPACES

- 4.11 A wide variety of spaces are provided within the masterplan, ranging in size from a large civic square with the capacity to stage events and community gatherings, to small intimate pocket parks with places to sit and relax.
- 4.12 The various parks and civic spaces have been located to maximise the retention of existing quality trees, provide easy access for all local residents and provide a view of green space from nearly every home. In addition, their location also relates to strategic routes and connections throughout the new development for ease of access, to enhance the experience of moving through the neighbourhood, and to connect to parks and key destinations beyond the development boundary.
- 4.13 The design and character of the spaces will vary with their size, location and use. Overall, they will appear green and contrasting with the surrounding brick buildings, centered around new and mature trees. Wooden seating and play areas will contribute to a rich visual appearance of the various proposed spaces. Incorporated planting within the open spaces will also provide colour and interest.
- 4.14 Civic spaces will appear more formal, with more hard landscape, by contrast with the parks where green tones will be the dominant visual characteristic.

Artist's impression of the Aylesbury Masterplan



Key

- | | | | | |
|-----------------------|------------------|---------------------|----------------|---------------------|
| 1 Westmoreland Square | 5 Gaitskell Park | 9 Alvey Park | 13 Alsace Park | 16 Burgess Park |
| 2 Westmoreland Park | 6 Planes Park | 10 Invillie Park | 14 Dawes Park | 17 Faraday Gardens |
| 3 Portland Park | 7 Thurlow Park | 11 Missenden Park | 15 East Park | 18 Surrey Square |
| 4 School Square | 8 Bagshot Park | 12 Aylesbury Square | | 19 Nursery Row Park |

SCALE AND MASSING

Blocks and Frontages

- 4.15
- The proposed layout is based on perimeter-blocks, with building lines that clearly define streets as the spaces in between.
- 4.16
- The proposed blocks vary considerably in shape and size according to the configuration of streets and the preferred orientation and with the location of open spaces and parks.
- 4.17
- The fundamental design principle in setting out built form across the masterplan was to ensure that blocks make a clear distinction between public fronts and private backs. Buildings which front streets and open spaces present their public face to the outside world and give life to it. Public fronts and private backs are made distinct when primary access is from the street, the principal frontage.
- 4.18
- Lined along the perimeter of the streets and open spaces, the blocks create positively framed public realm, clearly either streets or open spaces, in contrast with the loose blocks currently found in the estate. A common building line maintains the differentiation between public, semi-public and private zones, and contributes to the distinct functions of each area. This distinction is achieved through common elements such as continued boundary treatments, i.e. ground floor treatments and proposed materials.
- 4.19
- In the residential neighbourhoods street animation will be given by the frequency of homes front doors and windows at ground floor level. In addition with balconies looking over streets, bays, porches, awnings, colonnades and other projections on the first and second floors can also contribute to enliven streets. Narrow frontage buildings, particularly where

townhouse and mews typologies are used will also create a vertical rhythm that adds visual animation to the street frontage.

Density distribution

- 4.20
- The scale and massing has been carefully designed to sensitively respond to existing scale of development within surrounding areas, whilst delivering the quantum of development set out within the AAP.
- 4.21
- The highest density areas of the masterplan are along Albany Road and the Burgess Park edge, where building heights will range from 4 to 20 storeys. The massing of the high density blocks include mansion block type buildings and towers. The profile of these blocks would be fragmented to maximise daylight into the dwellings and amenity spaces, as well as views towards the park and the wider city.
- 4.22
- The medium density blocks range from 3 to 8 storeys and are located along Thurlow Street and towards the eastern part of the masterplan. Here, the massing of the block has a more consistent profile and is used in parts to reinforce the character of different streets; from a wider and taller Thurlow Street to smaller and narrower mews streets.
- 4.23
- Low density zones of 2 to 6 storey buildings dominate the scheme in all other areas. Low scale buildings, either terraced houses or low-rise mansion blocks will be located in the neighbourhoods around Michael Faraday School and next to the Conservation Area, near Mina Road and facing East Street's Victorian houses. In all these locations, the intention is to continue the scale of the adjacent existing buildings.

- 4.24
- On Aylesbury Square, the community and retail hub of the masterplan, medium scale is proposed, with a tall building of maximum 15 storeys expected to signal this important location.

Building types

- 4.25
- The range and position of building types across the masterplan relates to the scale and massing proposals.
- The high density blocks consist of landmark towers, special towers and mansion blocks.
- The medium density blocks contain mansion blocks, the occasional special tower, townhouses and mews.
- The low density blocks contain small scale mansion blocks and townhouses.

Block strategy plan



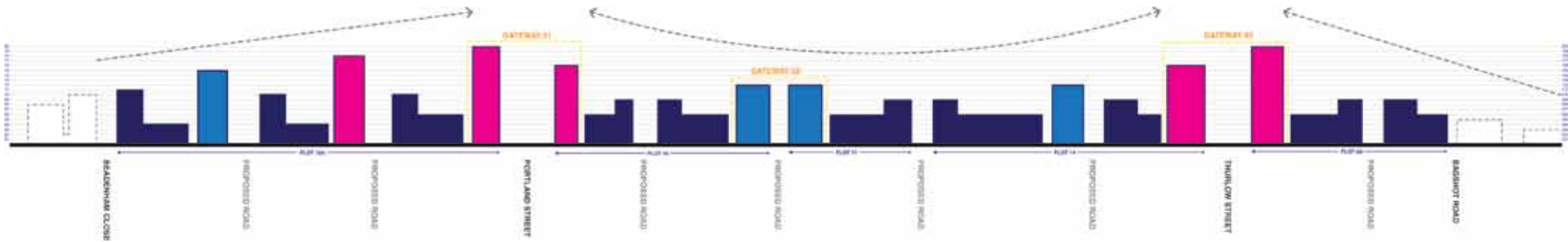
- Key
- High Density
 - Medium Density
 - Low Density

Building Typologies Distribution



- Key
- Landmark Tower
 - Special Tower
 - Mansion Block
 - Townhouse
 - Mews / Courtyard

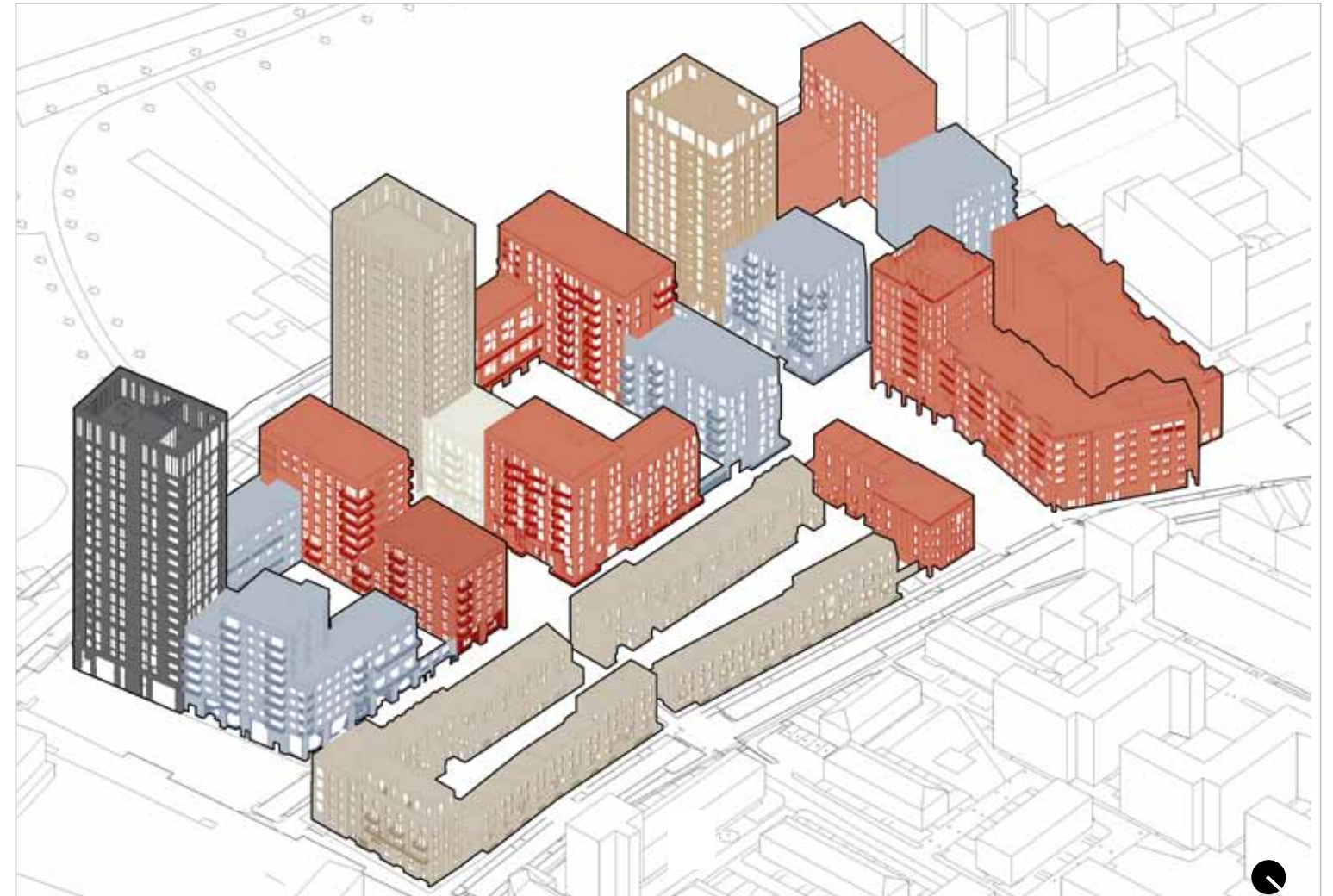
Park edge massing elevation



APPEARANCE

- 4.26 It is expected that the buildings within the masterplan will be durable, appearing attractive and visually harmonious. Low and medium rise buildings will be generally solid, rather than lightweight - a masonry architecture should prevail. Lighter details in metal, timber or other materials and moments of ornament will add delicacy and richness to the composition.
- 4.27 Taller buildings, particularly those on the Park Edge, can be more lightweight, with larger areas of glazing an integral part of the design so to maximise views towards the Park.
- 4.28 Natural materials are encouraged. Brick should be the most typical material. Its durability, solidity and timeless nature makes it entirely appropriate for buildings which incorporate residential uses. Richness and diversity will be delivered through the subtle play of variations in tone, differences in texture and brick size and window reveal depths.
- 4.29 The FDS provides a good illustration of the expected appearance for the rest of the site, particularly with regard to the variety in brick scales.

Brick types used across the FDS



Key

- | | |
|---|---------------------------------------|
| ■ Semi-Glazed Waterstruck Brick - Type 01 | ■ Waterstruck Brick - Type 04 |
| ■ Waterstruck Brick - Type 02 | ■ Waterstruck Brick - Type 05 |
| ■ Waterstruck Brick - Type 03 | ■ Semi-Glazed Clinker Brick - Type 06 |

Building typology examples



LANDMARK TOWER



SPECIAL TOWER



MANSION BLOCK



TOWNHOUSE



MEWS / COURTYARD

CHARACTER AREAS

- 4.30 The proposed masterplan has been developed based on a series of framework principles, one of which being to create distinct and connected neighbourhoods.
- 4.31 Five character areas have been identified as part of the masterplan proposals. These areas have emerged through the distinct changes in density, massing, building type, street character and landscape proposals across the masterplan.
- 4.32 Their character has been designed in response to the edges of the site, and they blend in with the context in terms of built form, open spaces and street layout so that they will create the framework for a new successful urban area.
- 4.34 The five character areas and their respective synopsis are:

The Park Edge: A new and recognisable park edge for London

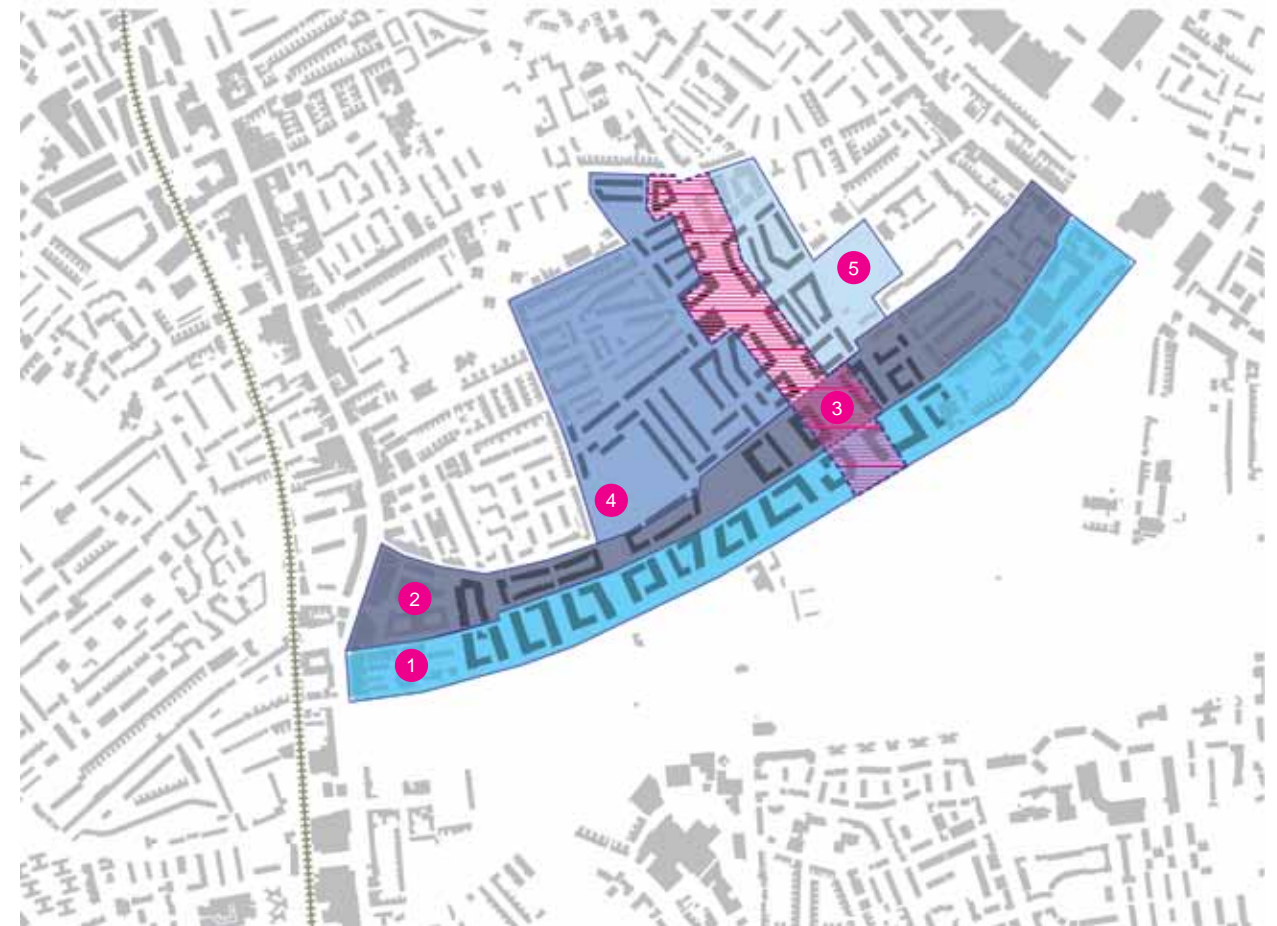
The Community Spine: Connecting community through open spaces

Thurlow Street: A green and dynamic boulevard

School Neighbourhood: A contemporary extension to the conservation area

Surrey Square: Formal streets and intimate mews

Character Areas Plan



Character Areas Illustrations

- Key**
- Park Edge 1
 - Community Spine 2
 - Thurlow Street 3
 - School Neighbourhood 4
 - Surrey Square 5

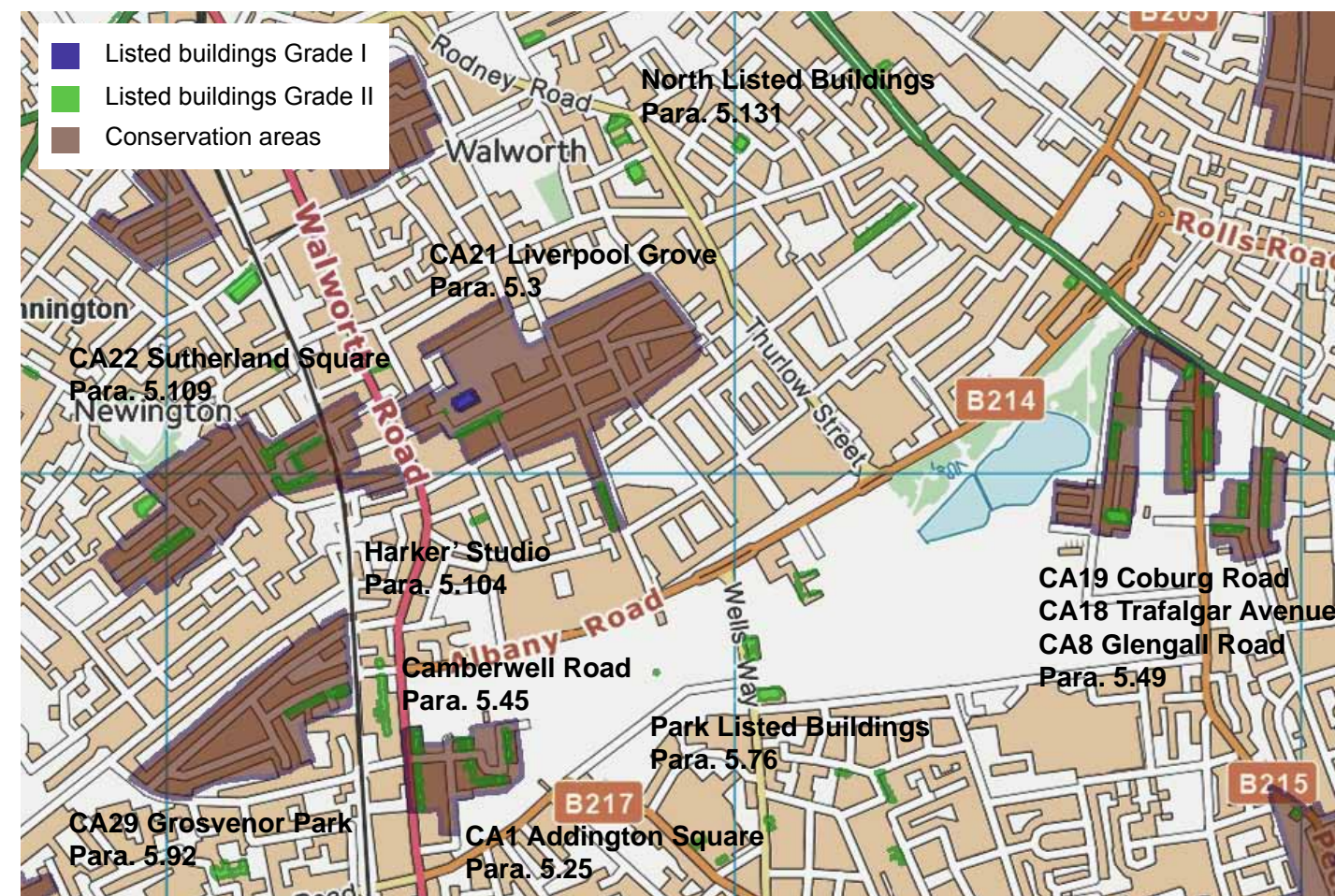


5.0 BASELINE AND ASSESSMENT OF EFFECTS: BUILT HERITAGE

BUILT HERITAGE CONTEXT APPRAISAL

Introduction

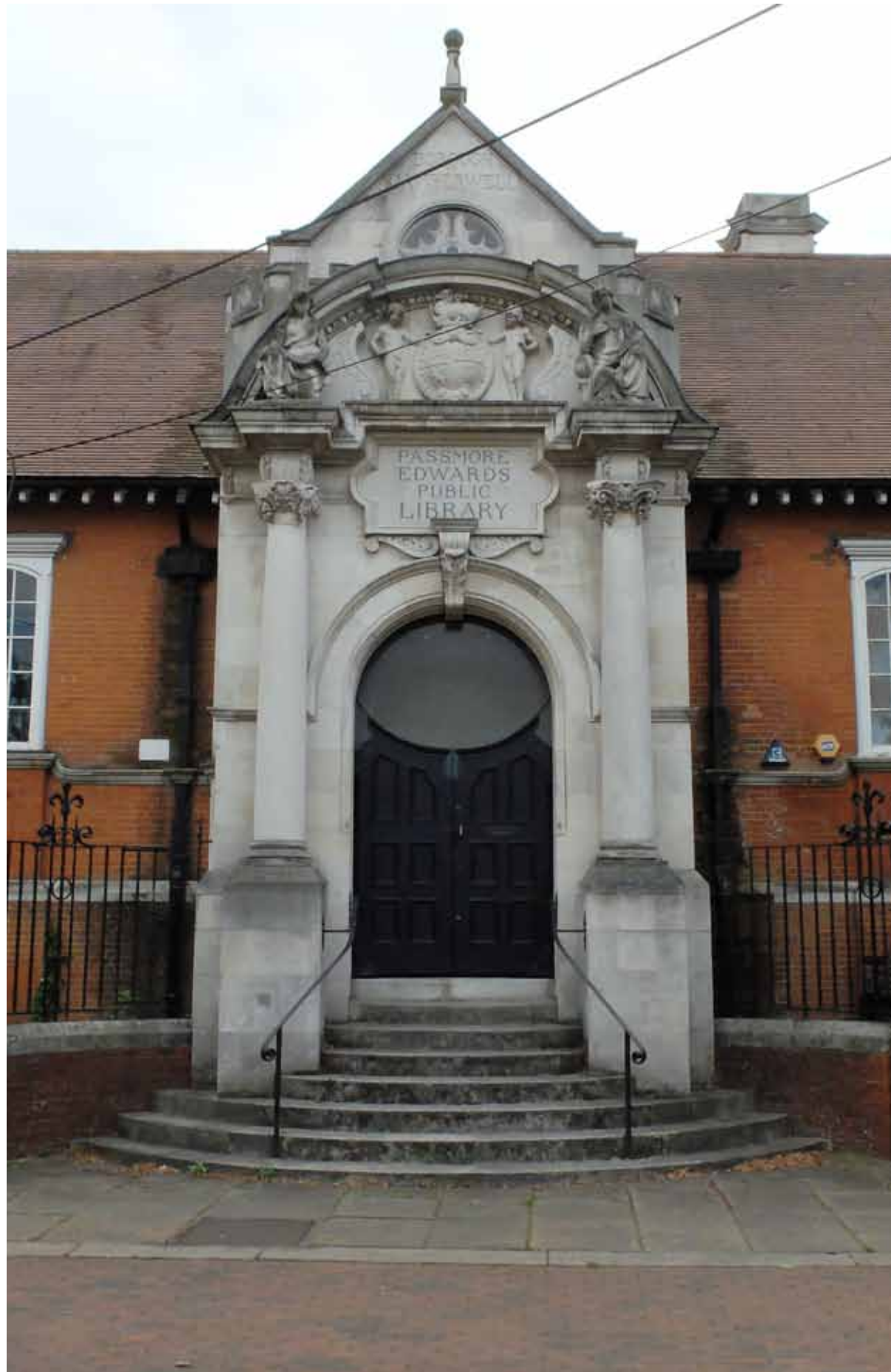
- 5.1 Walworth includes a diverse range of building types from the 19th and 20th Centuries and some surviving 18th century fabric. There are fine Grade I, Grade II* and Grade II listed buildings that communicate the great diversity of our Architecture, and Conservation Areas that successfully draw attention to fine surviving groups of streets laid out in the 19th Century. The field boundaries that influenced the laying out of the growing suburb have remained in many places despite later redevelopment, and where buildings have been replaced they are often sympathetic to their surroundings.
- 5.2 The common route through Walworth along the Camberwell Road is suited to those travelling elsewhere, but to take a path from East to West through Walworth reveals a diverse and ever-interesting succession of street and squares, parks and gardens with many charming corners and quiet lanes.



Grade I listed Church of St. Peter Liverpool Grove, West Front



Grade II listed former Passmore Edwards Library, c1902



Centre Bay of Surrey Square and raised pavement, completed 1794.



CA 21 LIVERPOOL GROVE

- 5.3 Walworth came into the ownership of Canterbury Cathedral in the 12th Century. A map of 1681 shows a few houses along ‘Walworth Street’ with the centre of the village at a cross-roads with a lane leading to the East, East Lane now East Street. The land remained with Canterbury as the fields were slowly built over, the 1830 Kennington to Peckham map (courtesy of Southwark Council) shows the area still named Walworth Fields. In 1862 it was made over to the Ecclesiastical Commissioners, now the Church Commissioners, which still owns parts of Walworth including much of land comprising the Liverpool Grove Conservation Area.
- 5.4 Over succeeding decades increasing housing demand in London as a result of increasing population led to overcrowding. Falling property values of these overcrowded buildings kept rents low reducing the income and the amount of maintenance possible allowing the buildings to fall into disrepair and living conditions to become unhealthy.
- 5.5 The majority of the estate was built between 1903 and 1908 and comprises over 800 houses and flats.
- 5.6 The close management of the Walworth Estate contributed greatly to its survival. The layout is dense but interesting, generally low rise with flats fronting courts with shared gardens to the rear and quite broad streets of houses and maisonettes each with their own garden. The varied external appearance of the buildings was intended to avoid monotony and has been preserved through only minor and sensitive alterations taking place. Trees have matured and with many pedestrians and only local traffic it is a quiet, pleasant place to be. The richness of composition in the massing and elevations are characteristic of the early 20th Century and retain their appeal to early 21st Century eyes. The combination of brick, render and painted timber beneath tiled roofs has a later 19th Century lineage rooted in the application of an earlier vernacular considered to be characteristically English. Where Villa Street

- meets Burton Grove looking toward Wooler Street the cohesiveness of the conservation area is particularly apparent to the benefit of resident and visitor alike. The significance of the conservation area can only be affected if the cohesiveness of the early 20th Century Walworth Estate is undermined.
- 5.7 While the cohesiveness of the conservation area will not be affected by the redevelopment of the Aylesbury Estate views toward that estate often include the glass and concrete of the later 20th Century housing. The new buildings on the development site will have a moderate beneficial impact on views and a major beneficial impact at the boundary between estates, specifically the relationship to the buildings of Merrow Street, Portland Street and Dawes Street and views along Portland Street, Merrow Street, Aylesbury Road, Wooler Street and Trafalgar Street.
- 5.8 The Liverpool Grove Conservation Area Appraisal identifies the mostly later Victorian terraces with some early 19th Century houses of 122 to 190 Trafalgar Street in section 4.3.4 as Key Unlisted Buildings in the conservation area. No part of the conservation area is included in the development which only reaches its southern boundary where the proposed scale and sensitive design of its buildings will have a moderate beneficial impact.

Site Wide & Cumulative Schemes

- 5.9 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

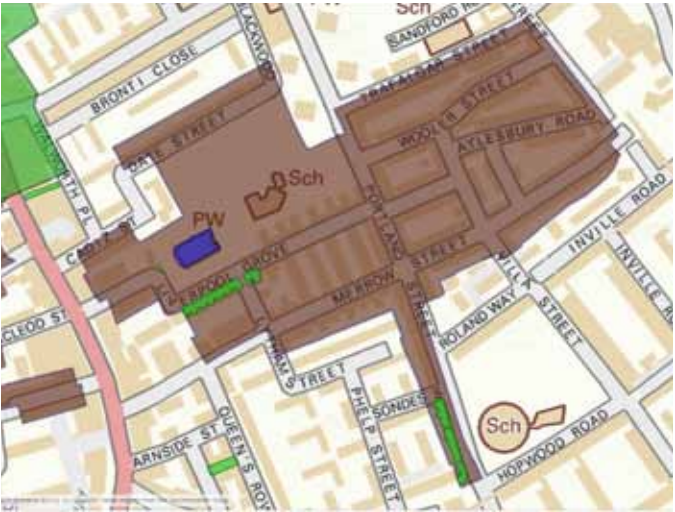
FDS & Cumulative Schemes

- 5.10 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

The Ecclesiastical Commissioners’ Housing of the Working Classes London Estate, 1906 Pamphlet.
Courtesy Church of England Record Centre



Location of Conservation Area and Listed Buildings (Southwark Council Maps)



1830 Kennington to Peckham map (courtesy of Southwark Council)



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.1 Overall Impact

View southward, Portland Street



View Southward, Villa Street



Merrow Street toward Inville Road



Grove Court



Key unlisted buildings 122-190 Trafalgar Street on right, toward Dawes Street



CHURCH OF ST. PETER
WEST GATES & GATE PIERS
LIVERPOOL GROVE
GRADE I

- 5.11 The jewel of the Liverpool grove Conservation Area and visible from Walworth Road is the Grade I listed Church of St. Peter completed 1825 by Sir John Soane.
- 5.12 Though restored after damage from enemy action during the Second World War it remains a fine example of Soane’s work. The church as well as its gate piers and associated ironwork are listed. The repeated large arched head windows to the sides are sober, ornament is generally understated and restricted to classical Greek models.
- 5.13 The West front is suitably grand, recessed to afford an Ionic colonnade with central giant doorway and two stage Corinthian tower above, first square in plan then circular culminating in a dome carrying a cross. It is a very fine example of early 19th Century classicism exhibiting Soane’s control of and freedom with the classical language to achieve a building that acknowledges its inspiration while reflecting the time of its design.
- 5.14 Though of high value and sensitivity to change the church stands some distance away from the redevelopment of the Aylesbury Estate which will have a negligible impact on its setting and will not affect its significance.

Site Wide & Cumulative Schemes

- 5.15 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

1830 Kennington to Peckham map
(courtesy of Southwark Council)



Location of Conservation Area and Listed Buildings (Southwark Maps)



FDS & Cumulative Schemes

- 5.16 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Grade I listed Church of St. Peter Liverpool Grove, West Front



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.2 Overall Impact

East End, Church of St. Peter completed 1825 and rear Colonnade detail, right



28-58 LIVERPOOL GROVE
GRADE II

- 5.17 Facing the Church of St. Peter is the terrace of Nos 28 to 58 Liverpool Grove. Early 19th Century but not included in the Ecclesiastical Commissioners rebuilding of the estate they give a sense of the early context of the Church. These are 2 storey brick terraces, the ground floor round-headed windows with delicate curving mullions describing pointed arches also found in the semi-circular transom over the entrance doors.
- 5.18 The redevelopment of the Aylesbury Estate will have a negligible impact on the setting of these listed buildings and their significance will remain unaffected.

Location of Conservation Area and Listed Buildings (Southwark Maps)



Site Wide & Cumulative Schemes

- 5.19 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.20 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

1830 Kennington to Peckham map (courtesy of Southwark Council)



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.3 Overall Impact

1-23 PORTLAND STREET
GRADE II

- 5.21 Of the many houses and flats of the rebuilt estate only Nos. 1 to 23 Portland Street and neighbouring Aycliffe House are listed. In brick with stone dressings subsequently painted and timber canopies beneath tiled roofs this terrace at 2 storeys and Aycliffe House at 3 storeys are at the junction with buildings of the Aylesbury Estate. The existing Aylesbury Estate buildings have large areas of concrete and glass connected by sweeping walkways and surrounded by parking in strong contrast to the listed buildings.
- 5.22 Redevelopment of these later 20th Century buildings will have a major beneficial impact on the setting of these listed buildings as the harsh and contrasting elements of the Aylesbury Estate in steel and concrete at an unrelated scale are replaced by sensitive designs at an appropriate scale.

Site Wide & Cumulative Schemes

- 5.23 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.24 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Location of Conservation Area and Listed Buildings (Southwark Maps)



Setting of Grade II listed Aycliffe House, Portland Street



Houses in foreground in Conservation Area not listed, listed terrace beyond



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.4 Overall Impact

CA 1 ADDINGTON SQUARE

5.25 The Conservation Area is comprised of houses fronting Camberwell Road, Addington Square to the East and much of Kitson Road extending South. The 1830 Kennington to Peckham map and Cary's New Map of London and Vicinity from 1837 shows Addington Square beginning to be laid out and many of the Camberwell Road houses. The 1895 Ordnance Survey describes a mixed area following the arrival of the canal with several wharves and a depot either side of the Camberwell Baths on the North side of the square. The baths have been replaced by the Tennis Cafe and tennis courts of Burgess Park opening views across to the taller blocks of the Aylesbury Estate. The square is a protected London Square.

5.26 Proceeding South Nos. 117-129 and Nos. 131-155 are addressed in the Listed Buildings pages below.

5.27 The square is an eclectic mix of early 19th Century designs. The upright terrace on the East side, Nos. 33-37 & 38-42, was the last to be built and shares similar character to those on Camberwell Road. Most distinctive on this square is Nos. 13-16 on the South Side, a group of 4 designed as a unified composition in stucco and brick over 2 storeys with pitched roof, the centre entrance bay stepped slightly forward beneath a pediment and recessed entrances to all four houses.

5.28 Views of Bradenham House on the Aylesbury Estate are possible in most parts of the square,

though nowhere else in this conservation area. Through sensitive design responding to its context the redevelopment will have a minor beneficial impact on this part of the conservation area and the listed buildings of Addington Square. The redevelopment proposals will not affect the significance of the listed buildings.

Site Wide & Cumulative Schemes

5.29 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

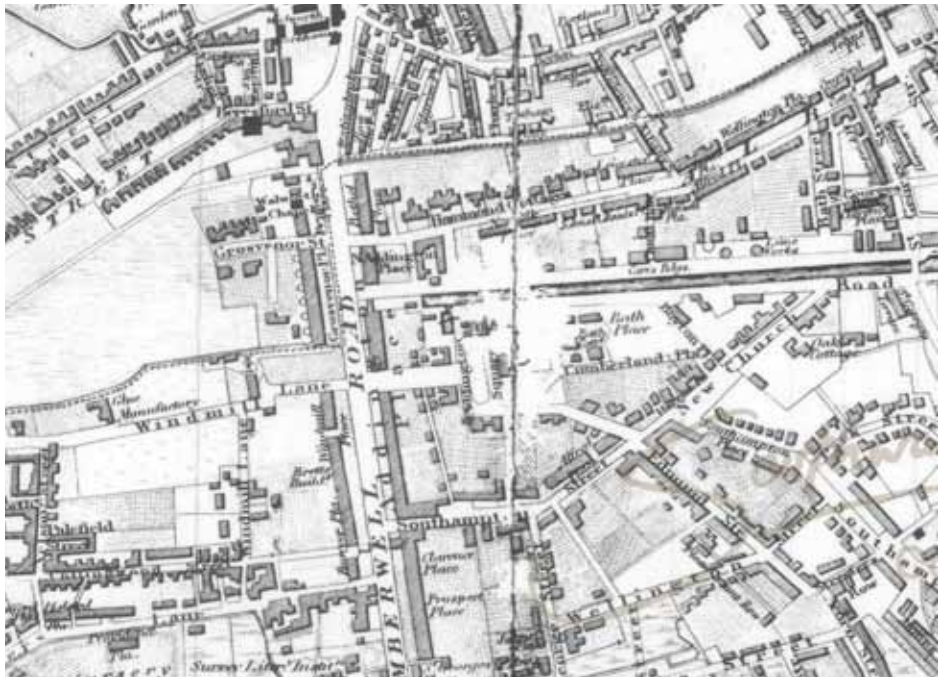
5.30 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.5 Overall Impact

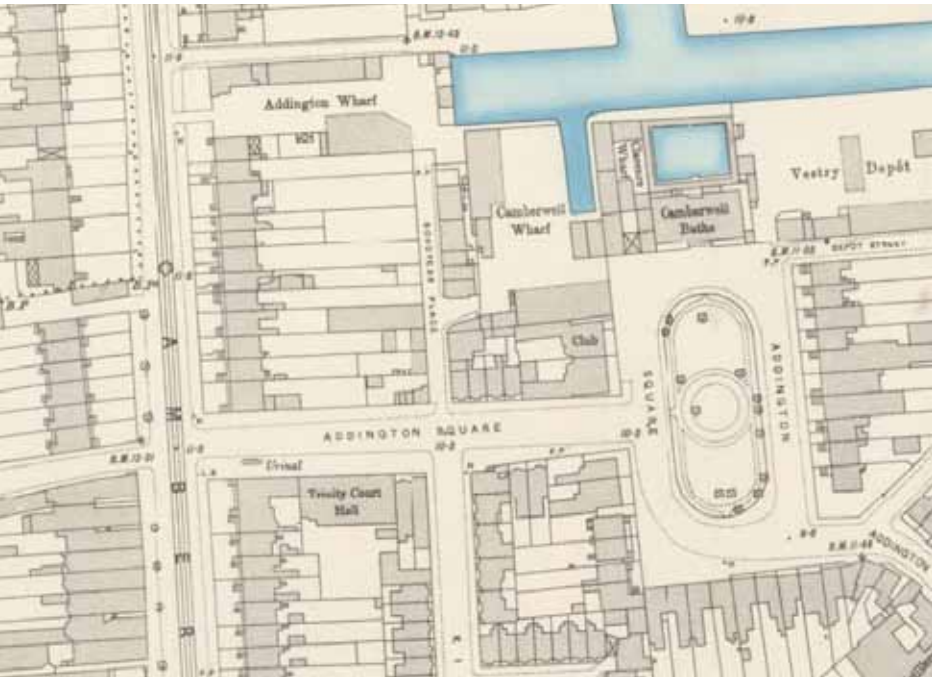
1830 Kennington to Peckham map (courtesy of Southwark Council)



Cary's New Plan of London and Vicinity, 1837 (http://mapco.net/)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



View from Addington Square across Burgess Park



Nos. 33-37 & 38-42 Addington Square



Nos. 13-16 Addington Square



Nos. 117-129 Camberwell Road



No. 149 Camberwell Road



Nos. 151-155 Camberwell Road



NOS. 7 & 8, 9 & 10, & 11
NOS. 13-16 &
NOS. 33-42 &
NOS. 47 & 48 ADDINGTON SQUARE
GRADE II

- 5.31 The square, a protected London Square, is an eclectic mix of early 19th Century designs. The three storey corner house, No.7, has been rendered and features round headed ground floor windows found in many of the other buildings on this square. At first floor are tall 6over6 sliding sash windows with cast iron balconies, it is in a good state of repair in contrast to its pair adjacent.
- 5.32 The semi detached Nos 9 &10 have shallow arched window heads to ground floor, the front door reached by a short flight of steps. The upper storey features pairs of windows with a central engaged column supporting both arches. Above are dormer windows to the attic storey. No.11 stands alone more similar to the houses of Nos. 33 to 42 opposite.
- 5.33 Most distinctive on this square is Nos. 13-16 on the South Side, a group of 4 designed as a unified composition in stucco and brick over 2 storeys with pitched roof, the centre entrance bay stepped slightly forward beneath a pediment and recessed entrances to all four houses. The care with which the design was developed has been reflected in the care with which the terrace has been maintained. The importance to the composition of the delicate ironwork and the colour of the pediment are apparent. The front door paint colour compliments and enhances the building.
- 5.34 The upright terrace on the East side, Nos. 33-37 & 38-42, was the last to be built and shares similar character to No. 11 and those on Camberwell Road. Over 3 storeys with basements most Ground floors have round headed recessed windows with sash casements and doors graded with ¾ columns and semi-circular transom light.

- 5.35 Nos 47 & 48 form a restrained Italianate block featuring arched heads to the ground floor windows including the wide transom to the entrance doors, the northern now a window. The paired houses are given verticality through the tall first floor windows further heightened through rendered pilasters identifying the corner bays of A-B-B-A composition. The richly moulded entrance doors include motifs found on the door to No.8.
- 5.36 Views of Bradenham House on the Aylesbury Estate are possible in most parts of the square and through sensitive design responding to its context the redevelopment will have a minor beneficial impact on the listed buildings of Addington Square. The redevelopment proposals will not affect the significance of these buildings.

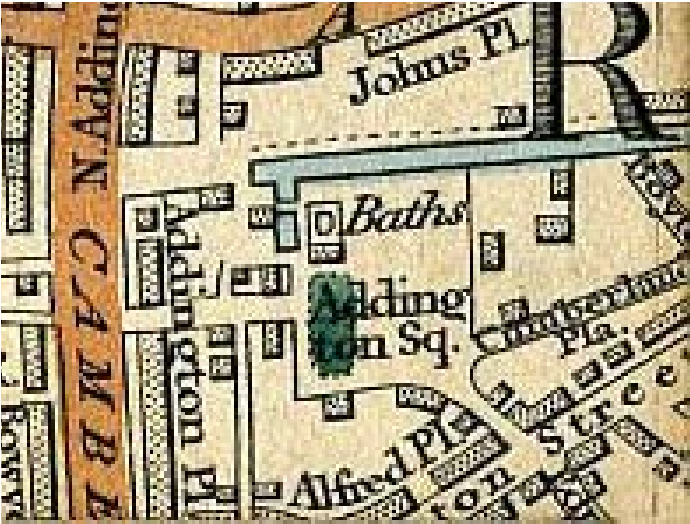
Site Wide & Cumulative Schemes

- 5.37 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negibible.

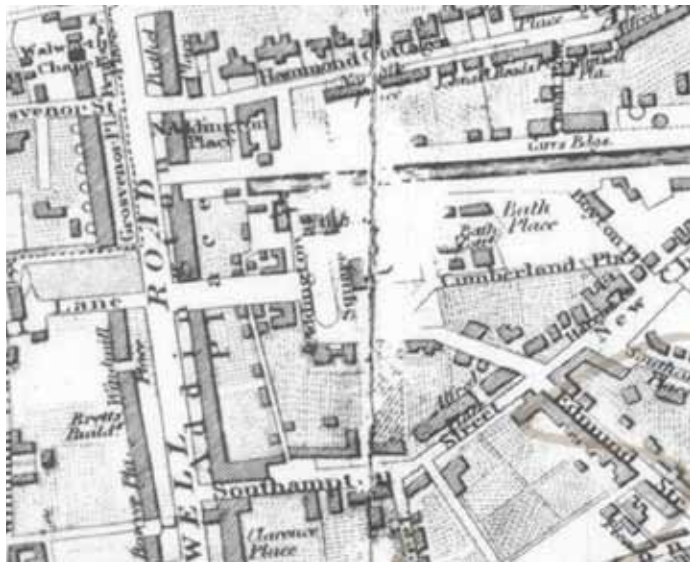
FDS & Cumulative Schemes

- 5.38 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negibible.

Cary's New Plan of London and Vicinity, 1837
(<http://mapco.net/>)



1830 Kennington to Peckham map
(courtesy of Southwark Council)



Location of Conservation Area and Listed Buildings (Southwark Maps)



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.6 Overall Impact

Nos. 13-16 Addington Square



Nos. 47 & 48 Addington Square



Nos. 33-37 & 38-42 Addington Square



Nos. 7-11 Addington Square



117-129 CAMBERWELL ROAD
INCLUDING RAILINGS
CAMBRIDGE HOUSE (131-155 CAMBER-
WELL ROAD)
GRADE II

- 5.39 Found in the Addington Square Conservation Area the 1830 Kennington to Peckham map and Cary's New Map of London and Vicinity from 1837 shows most of these houses. The 1895 Ordnance Survey describes a mixed area following the arrival of the canal.
- 5.40 Proceeding South Nos. 117-129 with attached railings are Grade II listed in brick with stone dressings. Over 3 storeys with basements most Ground floors have round headed recessed windows with sash casements and doors graced with ¾ columns and semi-circular transom light.
- 5.41 The arrangement is dignified and seen fronting many of the major routes into London that channelled 19th Century suburban expansion and is seen again at Nos. 131-155. These are enhanced by mature trees where they are found and exhibit a range of transom lights over several surviving early front doors.

- 5.42 From the rear of Nos 117-129 the redevelopment site will be visible across Burgess Park. The new buildings will have a negligible impact on the setting of these buildings. Views of the Aylesbury Estate are not possible from Nos 131 to 155. The redevelopment will have a negligible impact on the setting of these listed buildings. The significance of all remains unaffected.

Site Wide & Cumulative Schemes

- 5.43 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

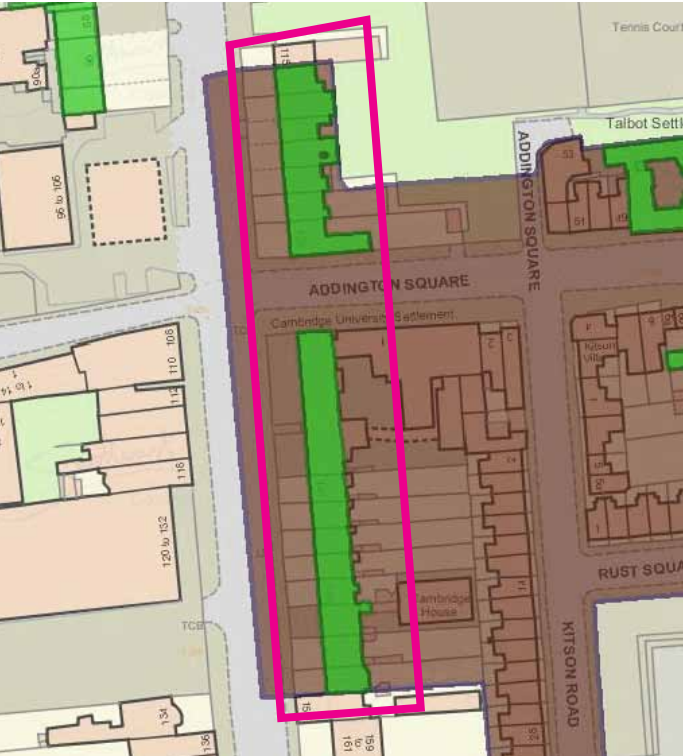
FDS & Cumulative Schemes

- 5.44 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Nos. 117-129 Camberwell Road



Location of Conservation Area and Listed Buildings
(Southwark Maps)



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.7 Overall Impact

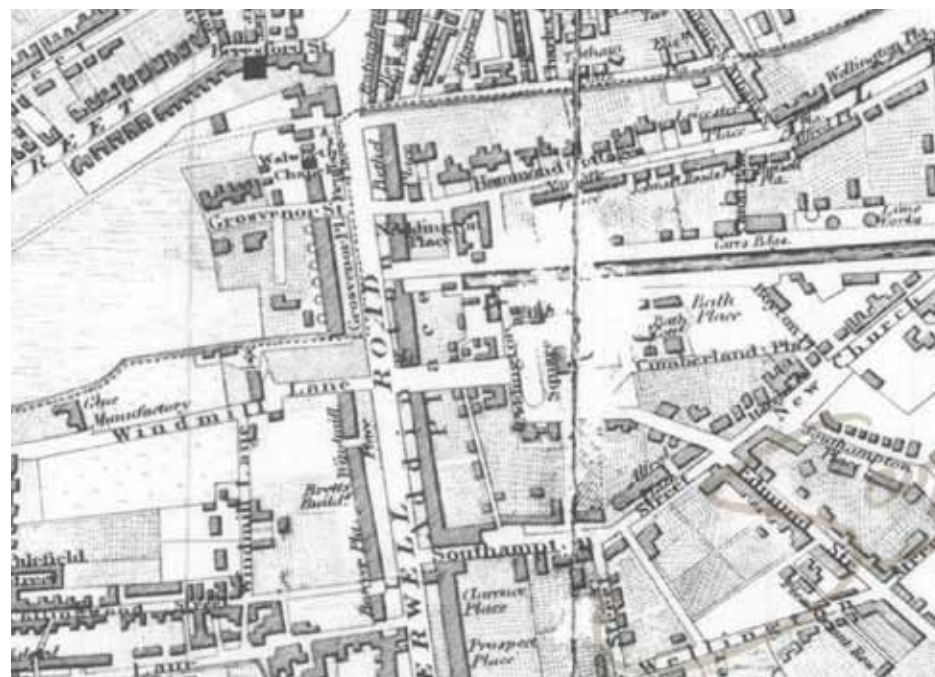
No. 149 Camberwell Road



Nos. 151-155 Camberwell Road



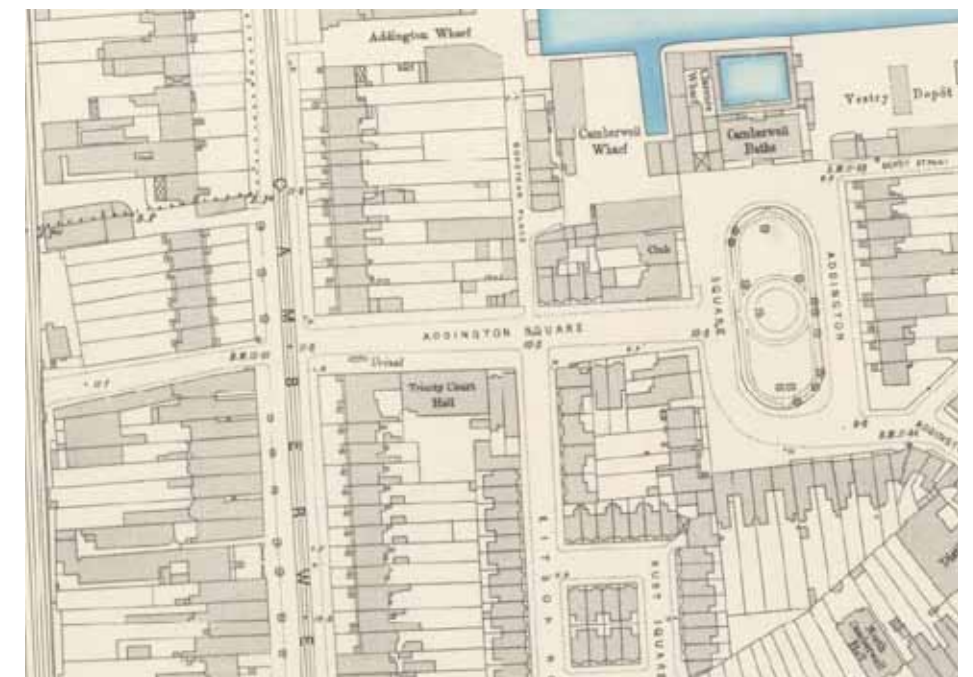
1830 Kennington to Peckham map (courtesy of Southwark Council)



Cary's New Plan of London and Vicinity, 1837 (<http://mapco.net/>)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



62 & 64,
66 - 84,
86 & 86A &
88, 90 & 92 CAMBERWELL ROAD
INCLUDING RAILINGS
GRADE II

5.45 Named Grosvenor Place on the 1830 Kennington to Peckham map (courtesy of Southwark Council) this terrace is set behind deep front gardens away from Camberwell Road. Mostly of yellow stock brick over 3 storeys with basement they have round headed recessed windows to the ground storey and entrance doors graced with ¾ columns and a semi-circular transom light. Nos 86 & 86a are distinct from the others being stucco faced with pilasters, frieze and other decoration. Formerly a Stonemason’s yard the decorative panels are actually of Coade Stone, saved from a building demolished in the 1890s, and are quite unexpected on this otherwise sober terrace. Nos. 88, 90 & 92 have undergone some alteration but read as a unified whole with stucco centre bays and brick side bays.

5.46 Views toward the Aylesbury Estate site from much of the length of the terrace are obscured by mature trees and planting in Burgess Park and the view from Nos. 62 & 64 is obscured by the buildings on the opposite side of Camberwell Road. Nos. 66 & 84 Camberwell Road close to the junction with Albany Road are afforded a view and redevelopment will have a minor beneficial impact on the setting of these listed buildings. Their significance remains unaffected.

Site Wide & Cumulative Schemes

5.47 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

5.48 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

90 & 92 Camberwell Road



Location of Listed Buildings (Southwark Council Maps)



1830 Kennington to Peckham map (courtesy of Southwark Council)



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.8 Overall Impact

86 & 86a Camberwell Road



66 to 84 Camberwell Road



62 & 64 Camberwell Road



View from 66 Camberwell Road



CA 8 GLENGALL ROAD,
CA 18 TRAFALGAR AVENUE &
CA 19 COBURG ROAD

5.49 These three small neighbouring conservation areas connected by public open spaces off the Old Kent Road are addressed here together. CA 19 Coburg Road is the only one that has views of the Aylesbury Estate, across the lake in Burgess Park. The street and some of the houses appear on the 1830 Kennington to Peckham map (courtesy of Southwark Council) with Hanover House, Rosetta Place and Grenville Terrace annotated. The surrounding area is largely undeveloped as also shown on the later Cary's New Map of London and Vicinity from 1837. The 1895 Ordnance Survey shows the area fully developed.

5.50 In the early 21st Century Coburg Road is lined with mature trees, the surviving buildings are on its East side and comprise a number of early

to late 19th Century terraces of 2 storeys and 3 storeys with basements. The listed buildings are addressed on the pages below.

5.51 CA 18 Trafalgar Avenue is mostly comprised of the tall listed terraces either side of the road annotated "Footway to Peckham" on the 1830 map. At the junction with Old Kent Road is the Lord Nelson public house annotated the Nelson's Head.

5.52 The Glengall Road Conservation Area is the furthest of the three from the Aylesbury Estate and is comprised mostly of stuccoed terraces dating to the mid 1840s. All are Grade II listed and addressed below comprising much of the fabric of this interesting and cohesive conservation area.

5.53 The principal context to Coburg Road is the view of the lake. From the listed Nos. 47 to 63 it is possible to see the taller blocks of the Aylesbury Estate across the lake in Burgess Park. A view from near the bridge across the lake toward Coburg Road reveals that mature trees obscure much of the listed fabric of the street. The redevelopment will have a minor beneficial impact on the Coburg Road Conservation Area and the setting of its listed buildings through design of the new buildings fronting Albany Road being sensitive to their context. Their significance remains unaffected.

5.54 Trafalgar Avenue and Glengall Road conservation areas are both distant from the site without any views of the estate and are unaffected.

Site Wide & Cumulative Schemes

5.55 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

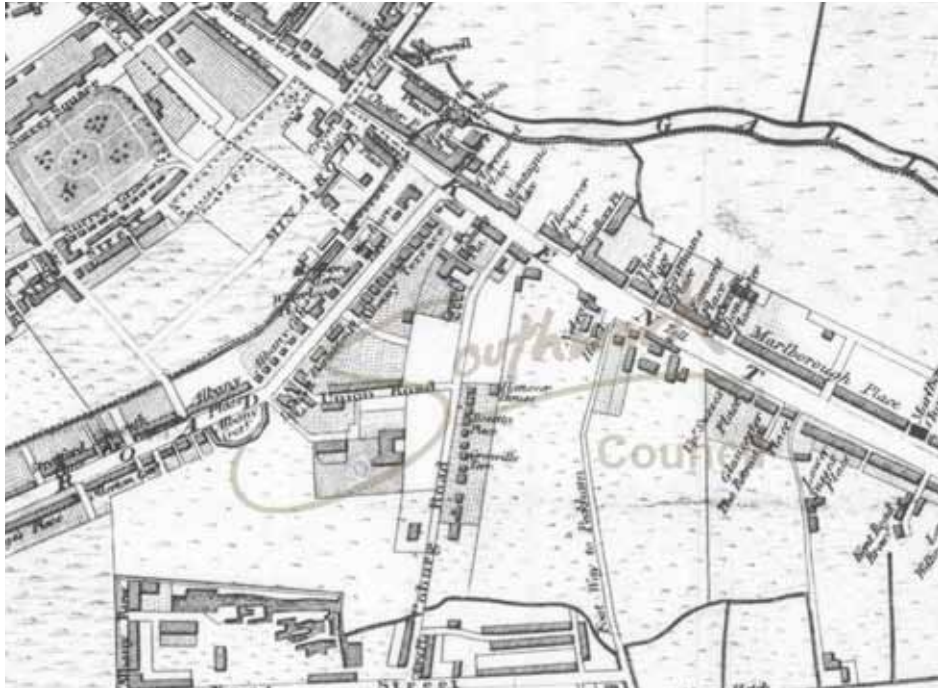
5.56 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.



CA 19 Coburg Road				
Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.9 Overall Impact

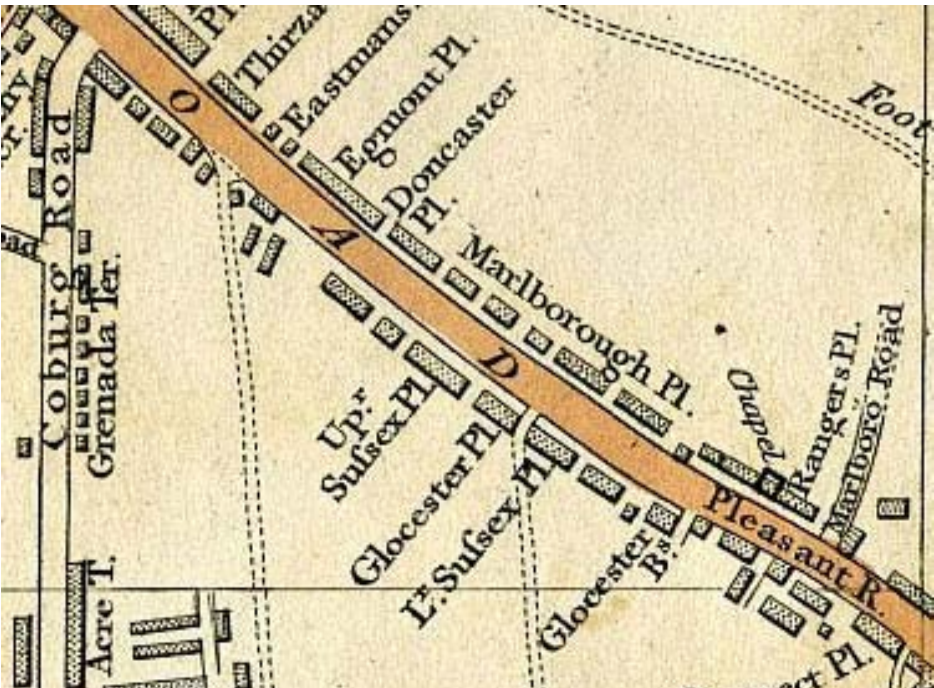
1830 Kennington to Peckham map (courtesy of Southwark Council)



CA 8 Glengall Road & CA 18 Trafalgar Avenue				
Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.10 Overall Impact

Cary's New Plan of London and Vicinity, 1837 (http://mapco.net/)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



View from Coburg Road



View toward Coburg Road



Grade II listed Nos. 15 & 17 Glengall Road



Grade II listed Nos. 31 to 35 Trafalgar Avenue



Hanover House, left, and Nos. 59 to 63 Coburg Road



NOS. 29 & 31, 47, HANOVER HOUSE,
NOS 51 & 53, NO. 55 & RAILINGS,
ROSETTA PLACE & 61 & 63 COBURG
ROAD
GRADE II

- 5.57 Found in the Coburg Road Conservation Area this street of 2 & 3 storey terraces and villas includes a number of early 19th Century survivors. The street and some of the houses appear on the 1830 Kennington to Peckham map (courtesy of Southwark Council) with Hanover House, Rosetta Place and Grenville Terrace annotated.
- 5.58 Currently undergoing maintenance the pair of houses Nos. 29 & 31 Coburg Road are of brick with the entrance door graced with ¾ columns and a semi-circular transom light. Flat gauged brick window heads are expressed.
- 5.59 Hanover House is of brick over 3 storeys with stucco cornice and reveals to the round headed ground floor windows. From its neighbours on this terrace, Nos. 47 to 63 it is possible to see the taller blocks of the Aylesbury Estate across the lake in Burgess Park, though largely obscured by mature trees.
- 5.60 The former church of St. Mark was designed by RN Shaw in 1879-1880 with later additions but lacks the Queen Anne inspired character of much of his work or the half timbering seen to great effect at the contemporary Bedford Park.
- 5.61 The principal context to Coburg Road is the view of the lake. The redevelopment of the Aylesbury Estate includes buildings fronting Burgess Park which will have a minor beneficial impact on Nos 29 & 31, the others being largely obscured by mature trees. Their significance remains unaffected.

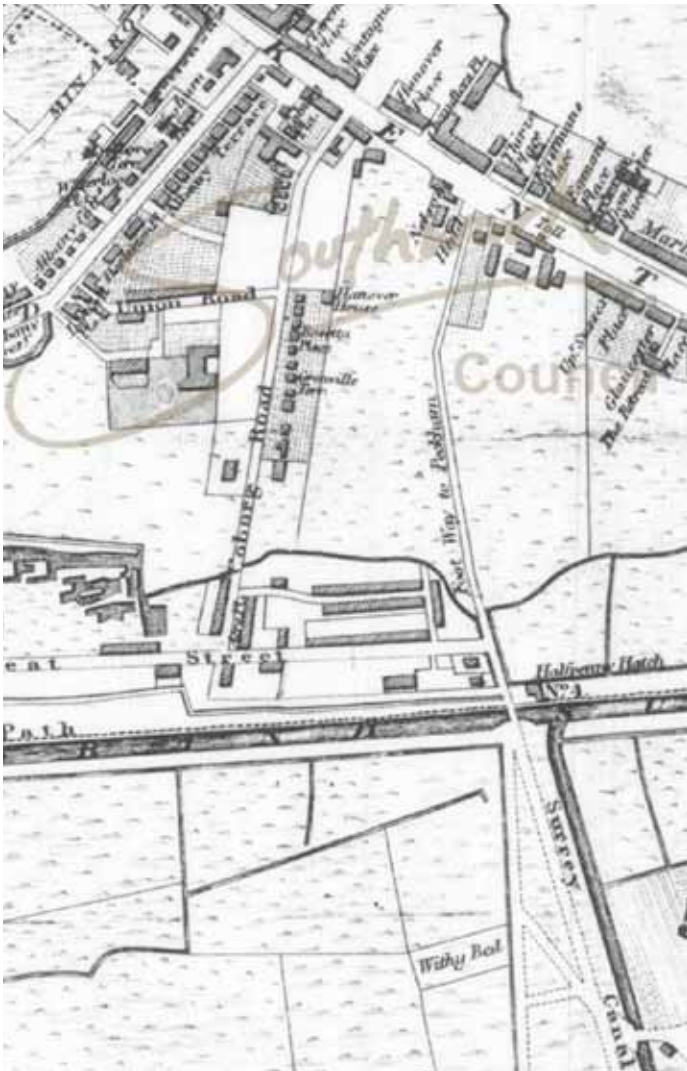
Site Wide & Cumulative Schemes

- 5.62 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.63 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

1830 Kennington to Peckham map
(courtesy of Southwark Council)



Nos 29 & 31 Coburg Road



Location of Conservation Area and Listed Buildings (Southwark Council Maps)



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.11 Overall Impact

No. 47 Coburg Road, Hanover House, Nos. 51 & 53, No 55 & railings, Rosetta Place and 61 & 63 Coburg Road



No. 47 Coburg Road, Hanover House, Nos. 51 & 53, No 55 & railings, Rosetta Place and 61 & 63 Coburg Road



New Peckham Mosque (Former Church of St. Mark)



New Peckham Mosque (Former Church of St. Mark) view from Glengall Terrace



**LORD NELSON PUBLIC HOUSE,
NOS 1 & 3 TRAFALGAR AVENUE, AT-
TACHED RAILINGS, GATE & GATE
POSTS, WALL AND GARDEN WALL,
NOS 16-61 & NOS 25-43
GRADE II**

- 5.64 At the junction with Old Kent Road is the Lord Nelson public house annotated the Nelson’s Head on the 1830 map. A recent eyecatching redecoration of the exterior sets the bow-fronted earlier part of the building into the background while the later 19th Century frontage turns the corner.
- 5.65 Opposite is the most unusual condition of Nos. 1 & 3 Trafalgar Avenue, a late 18th Century house perpendicular to the Avenue with the rear garden elevation articulated with a bowed bay window at the West end of the range. The once formal entrance on the North Elevation set back from the Old Kent Road had its front garden built on in the late 19th Century, the building has since been accessed via an alleyway. A most unfortunate situation for the residents, there is a cheerful late 19th Century window overlooking Trafalgar Avenue.
- 5.66 The tall listed terrace of Nos. 16-64 Trafalgar Avenue on the West side and Nos 25 to 43 on the East side are of differing character but both are unified. The more richly ornamented even-numbered terrace on the West side has a pleasing rhythm of pedimented and corniced first floor window surrounds above a rusticated stucco ground storey. The top storey is so ornamented as to be reminiscent of a decorative frieze enlarged to accommodate windows.
- 5.67 The terraces further South are less consistent in their detail with some gables and very large ground floor windows.
- 5.68 The odd-numbered terrace on the East side is more restrained with three-centred arched gauged brick heads surrounding the recessed first floor windows, the ground storey again rusticated stucco.
- 5.69 The listed buildings of the Trafalgar Avenue Conservation Area are not affected by the redevelopment of the Aylesbury Estate being distant from the site. Their significance remains unaffected.

Grade II listed Nos. 16 - 24 Trafalgar Avenue



Location of Conservation Area and Listed Buildings (Southwark Council Maps)



Site Wide & Cumulative Schemes

5.70 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

5.71 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.12 Overall Impact

The Lord Nelson Public House



Nos. 1 & 3 Trafalgar Avenue, Attached Railings, Gate & Gate Posts, Wall and Garden Wall



Grade II listed Nos. 46 & 48 Trafalgar Avenue



Grade II listed Nos. 31 to 35 Trafalgar Avenue



NOS 1-35 & 24-38 GLENGALL ROAD &
NOS 1-9 GLENGALL TERRACE
GRADE II

5.72 These stuccoed listed terraces comprise most of the Glengall Road Conservation Area. Dating to the mid 1840s all are distinctive for their ionic pilasters rising through both upper storeys matched with smaller ionic pilasters to the projecting entrance porticos. Shallow arched window heads contribute to the charm of these light, bright buildings enhanced by much surviving early ironwork.

5.73 The listed buildings along Glengall Road and Glengall Terrace are not affected by the redevelopment of the Aylesbury Estate being distant from the site. Their significance remains unaffected.

Site Wide & Cumulative Schemes

5.74 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

5.75 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Glengall Terrace



Location of Conservation Area and Listed Buildings (Southwark Council Maps)



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.13 Overall Impact

Grade II listed Nos. 15 & 17 Glengall Road



Grade II listed Nos. 4, 5 & 6 Glengall Terrace



ALMSHOUSES CHUMLEIGH GRANGE;
NORTH RANGE, CENTRE RANGE,
SOUTH RANGE
GRADE II

5.76 A range of Almshouses is shown on Cary's New Plan of London and Vicinity of 1837 in roughly the same position as the three ranges of Chumleigh Grange Almshouses. The later 1895 Ordnance Survey shows the group in more detail, which are today a community resource and public garden, an asset to Burgess Park. Of yellow brick over 2 storeys with pitched roof its windows are reminiscent of the gothic inspired vernacular of the early 19th Century. From the courtyard the view through the gap between centre range and North range reveals low rise blocks of the Aylesbury Estate on Albany Road.

5.77 Redevelopment proposals to replace these with taller residential blocks fronting Albany Road will have a moderate beneficial impact on the setting of this listed building through their more sensitive response to their context, while the curtilage remains unaltered and their significance unaffected.

Site Wide & Cumulative Schemes

5.78 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

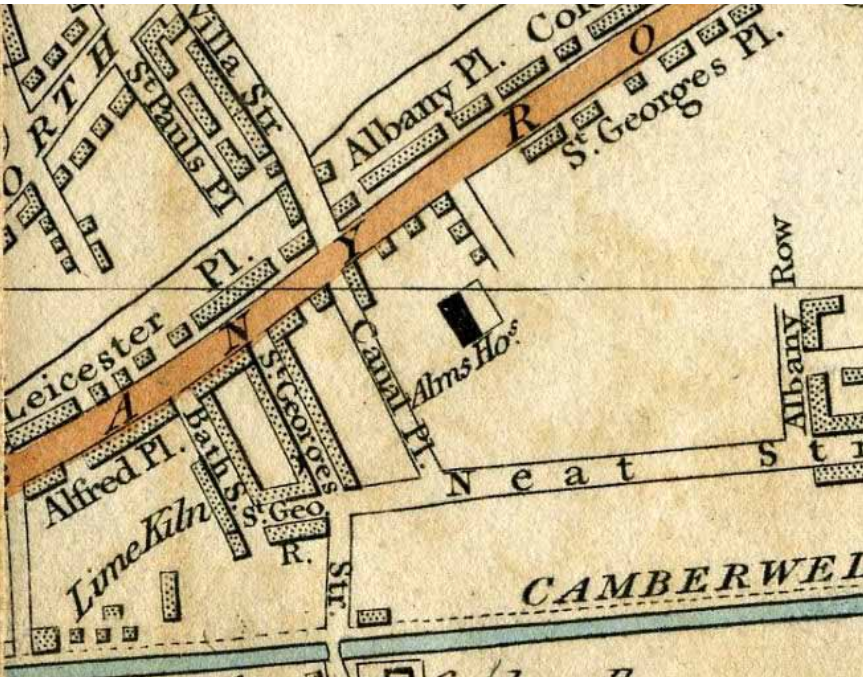
FDS & Cumulative Schemes

5.79 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Location of Listed Buildings
(Southwark Maps)



Cary's New Plan of London and Vicinity, 1837
(<http://mapco.net/>)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



Public Garden at Chumleigh Almshouses



View from Chumleigh Almshouses garden looking north to Aylesbury Estate



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.14 Overall Impact

LIME KILN, SOUTH WEST OF JUNCTION
OF ALBANY ROAD AND WELLS WAY,
BURGESS PARK
GRADE II

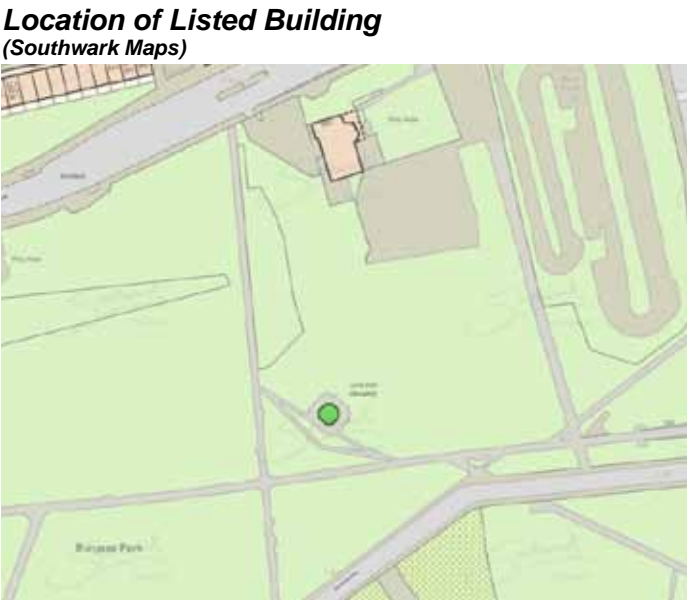
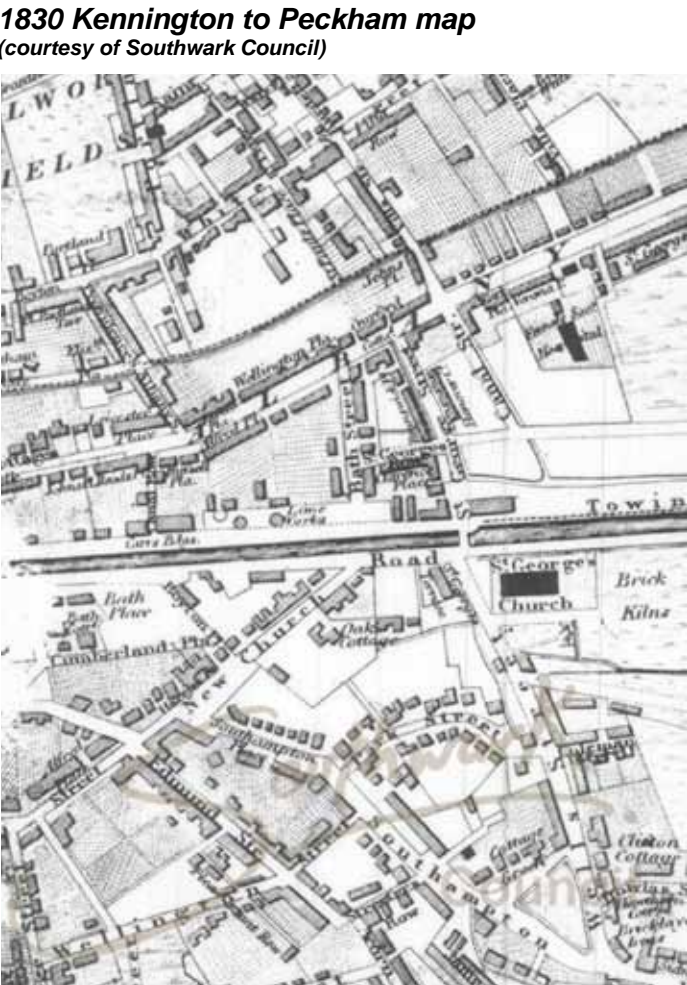
- 5.80 Now standing in splendid isolation in Burgess Park the Lime Works to which this surviving kiln belonged is annotated on the 1830 Kennington to Peckham map. It is likely lime from this kiln found its way to the many early 19th Century buildings surviving in this area. It is a record of the mixture of residential and industrial uses that once formed this part of Walworth that is less noticeable in the early 21st Century.
- 5.81 Beyond to the North the larger blocks of the Aylesbury Estate can be clearly seen, redevelopment fronting Burgess Park of a design more sensitive to this context will have a moderate beneficial impact on the setting of this listed building. Its immediate context will remain unaltered and its significance unaffected.

Site Wide & Cumulative Schemes

- 5.82 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.83 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.



Lime Kiln in Burgess Park, Aylesbury Estate beyond



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.15 Overall Impact

GROUNDWORK TRUST OFFICE AND
ATTACHED CHIMNEY, WELLS WAY
GRADE II

5.84 A fine Edwardian building this former Passmore Edwards Library of 1902 was built with high aspirations amidst the densely packed residential streets that are now a park. Fronting Wells Way the former public baths have been adorned on its South elevation with a recent large ceramic mural in a butterfly design that is sympathetic to its context and indicates this fine small building is cherished by its community. The chimney associated with the former Bath House is a prominent landmark in Burgess Park. The elevation to Wells Way in red brick with stone dressings has elements of Jacobean inspiration bent to suit an early 20th Century Bath House.

The library elevation also of red brick and once at a road junction has a glorious stone entrance bay richly carved with a semi-circular pediment of Baroque inspiration. The associated piers and railings also Grade II listed are beautifully ornate and contribute to a sense of place and permanence.

Grade II listed former Passmore Edwards Library, c1902



5.85 Low rise buildings of the Aylesbury Estate can be seen crossing behind the North end of Wells Way. Their redevelopment with taller buildings fronting Burgess Park may be seen through the trees and other planting but will not affect their significance. Their design being more sensitive to their context will have a minor beneficial impact on the setting of these listed buildings.

Site Wide & Cumulative Schemes

5.86 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

5.87 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

View looking north on Wells Way



Grade II listed Public Baths



Location of Listed Building (Southwark Maps)



Table 5.16 Overall Impact

Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

FORMER CHURCH OF ST. GEORGE,
WELLS WAY
GRADE II

- 5.88 Completed 1824 this Neoclassical temple has fluted Doric columns carrying frieze, entablature and pediment fronting what since 1994 has been a block of 30 flats. An early plan is shown on the 1895 Ordnance Survey (courtesy of National Library of Scotland) and the church can be seen on the 1830 Kennington to Peckham map (courtesy of Southwark Council). A memorial to the fallen of the Great War has been added at the boundary and there are extensive records in the National Archives.
- 5.89 At the North end of Wells Way low rise blocks of the Aylesbury Estate can be seen. The redeveloped estate will be at some distance from the former church and will have a negligible impact on the setting of this listed building. Its significance remains unaffected.

Site Wide & Cumulative Schemes

- 5.90 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.91 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

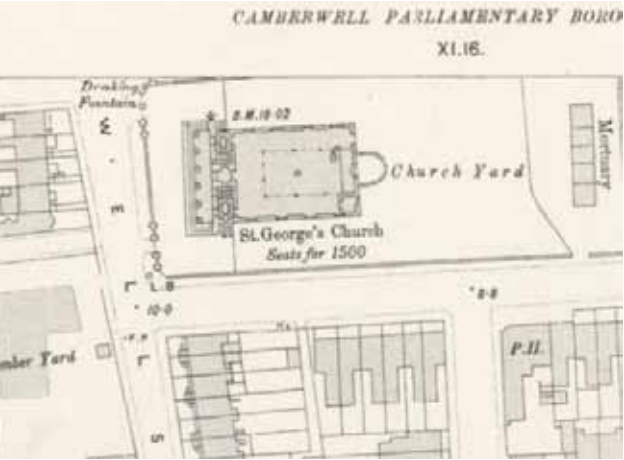
Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.17 Overall Impact

1830 Kennington to Peckham map
(courtesy of Southwark Council)



1895 Ordnance Survey 1:1056
(National Library of Scotland)



Location of Listed Building (Southwark Maps)



Former St. George's Church



View from Well's way looking north



CA 29 GROSVENOR PARK

5.92 The conservation area is comprised of three streets: Urlwin Street, Grosvenor Park and Grosvenor Terrace. The 1830 Kennington to Peckham map (courtesy of Southwark Council) shows part of the North East of the conservation area built and named Grosvenor Street, since renamed Urlwin Street, while the remainder is open fields up to an irregular boundary that is retained to this day by the laying out of the mid 19th Century development. Cary's New Map of London and Vicinity from 1837 shows Grosvenor Street beginning with the houses on the corner of the North side built.

5.93 Entry to the conservation area on Urlwin Street is through a gateway formed by a railway bridge and its abutments. The street is a mix of early to mid 19th Century buildings with those on its South side the Grade II listed Nos. 21 to 36. Of these Nos. 24a to 30 are particularly distinctive

houses finished in stucco imitating ashlar masonry.

- 5.94 All Souls Church shown on the 1895 Ordnance Survey (courtesy of National Library of Scotland) has been replaced by a later 20th Century block of flats that while having a distinct character of its own fits in well with the mature trees and 19th Century context.
- 5.95 Generally covering the breadth of 19th Century house types the most distinctive feature of the area is the small square created at South Villas, built 1861. Triangular in form it is fronted by terraces of paired 3-storey houses with basements with stone quoins and window and doorcases. Front gardens contribute to a greater feeling of scale to the small square. Further along Grosvenor Park approaching the junction with Grosvenor Terrace the elevations become quieter. As elsewhere in the conservation area

the mature trees contribute to the charm of the streets that are homely in feel. More recent redevelopment is either of an appropriate scale in the spirit of the 19th Century design or matches exactly preserving the cohesiveness of the conservation area.

5.96 The railway separates this conservation area from the redevelopment site. The proposals will have a negligible effect on the setting or significance of the conservation area or listed buildings within the area.

Site Wide & Cumulative Schemes

5.97 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

5.98 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

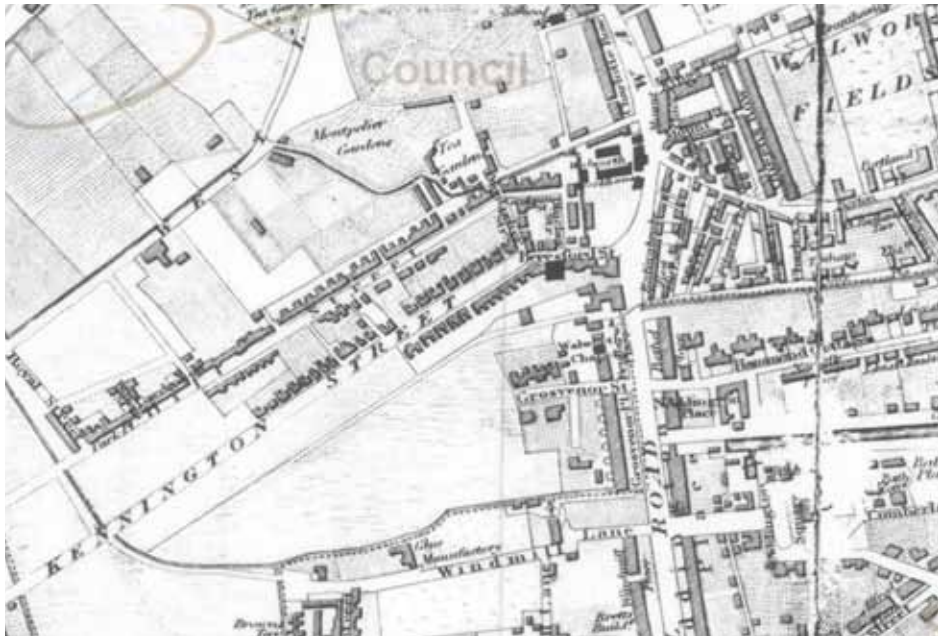
Location of Conservation Area and Listed Buildings ((Southwark Maps))



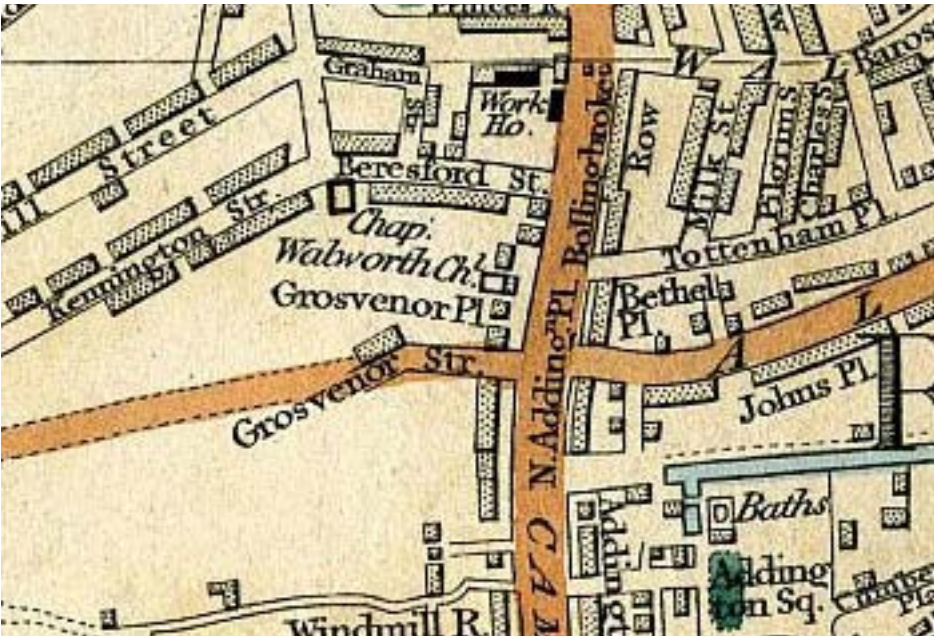
Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.18 Overall Impact

1830 Kennington to Peckham map (courtesy of Southwark Council)



Cary's New Plan of London and Vicinity, 1837 (http://mapco.net/)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



Grosvenor Park, the square at South Villas



Grosvenor Park, the square at South Villas



Grosvenor Park



Grosvenor Terrace



Grade II listed No. 24a Urlwin Street



NOS. 21-36 URLWIN STREET
GRADE II

- 5.99 Located in the Grosvenor Park Conservation Area Urlwin Street includes several early 19th Century brick houses and a fine series of stucco villas. The 1830 Kennington to Peckham map (courtesy of Southwark Council) shows part of the North East of the conservation built and named Grosvenor Street, since renamed Urlwin Street, surrounded by open fields. Cary's New Map of London and Vicinity from 1837 shows Grosvenor Street with the houses on the corner of the North side built.
- 5.100 Nos. 24a to 30 are particularly distinctive finished in stucco imitating ashlar masonry. Dating to the mid 19th Century over 2 storeys with basement beneath pitched roofs with wide soffits they give a sense of the Mediterranean congruent with their classical inspiration. The fine skyline created at roofline by the setbacks of the houses from the street demonstrates the care with which this modest housing development was designed. The last on the street are Nos. 32 to 36 and in brick and pre-date the adjacent railway bridge.
- 5.101 The railway separates this conservation area from the redevelopment site. The proposals will have a negligible effect on the setting or significance of the listed buildings.

Site Wide & Cumulative Schemes

- 5.102 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

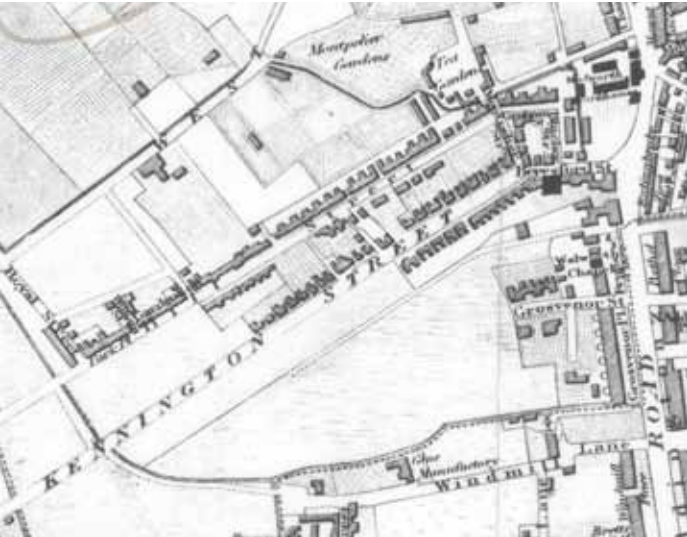
FDS & Cumulative Schemes

- 5.103 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Location of Conservation Area and Listed Buildings ((Southwark Maps)



1830 Kennington to Peckham map (courtesy of Southwark Council)



Listed terrace, Urlwin Street



Key
FDS
Site Wide Development

		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.19 Overall Impact

HARKER'S STUDIO, QUEEN'S ROW
GRADE II

- 5.104 Built as a workshop for theatrical scene painting the building is now Flint's Theatrical Chandlers though the original painting frame remains in-situ. Internally the layout serves as retail and warehousing use but still feels like a workshop, particularly on the mezzanine level accessed by a steep timber stair. It remains an active place of work. The principal access is from Queen's Row, the building is located near a late 1920s Ecclesiastical Commissioners Estate of flats on several nearby streets and the Aylesbury Estate can be seen at the end of Queen's Row.
- 5.105 The rear, rebuilt elevation to Horsley Street which is generally low rise with a recent house in a traditional vernacular language inserted leads to a view of one of the larger blocks of the Aylesbury Estate.
- 5.106 The replacement of Bradenham House with new development that responds to its pre-Aylesbury context will have a moderate beneficial impact on the setting of this listed building. Its significance remains unaffected.

Location of Listed Building (Southwark Maps)



Harker's Studio, Queen's Row



Site Wide & Cumulative Schemes

- 5.107 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.108 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Harker's Studio in context, Bradenham House beyond



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.20 Overall Impact

CA 22 SUTHERLAND SQUARE

- 5.109 The conservation area is of a mixed character extending broadly East-West with the site of the 19th Century Zoological Gardens at part of its northern boundary.
- 5.110 At its East end Sutherland Square is compact and cohesive comprised of a number of listed buildings. This square is gardens on the 1830 Kennington to Peckham map but Kelly's Post Office Directory Map of 1857 shows the square comprising 2 gardens with facing terraces around and between. The 1895 Ordnance Survey shows the railway has cut through the square creating Walworth Road station nearby to the South.
- 5.111 The viaduct has had a strong impact on this end of the conservation area leaving Sutherland Square itself feeling as if cut in half. The western half of the old square is more intact and able to be read as a whole on its own and has benefitted from recent public realm improvements designed to be sympathetic to the context. The Grade II* Sutherland House in the North West corner of the square is of particular note.
- 5.112 The West end of the conservation area includes Carter Street which can be seen on the 1830 map. Formerly extending all the way to Walworth Road it was cut in the mid 20th Century by the Penrose Estate with the

remainder named Carter Place. Carter Street in the main is comprised of long terraces of three storeys plus basement that are broadly uniform in articulation exhibiting minor variation in window and doorcases favoured by the various developers responsible. A similar terrace is on Lorrimore Square marking the edge of the conservation area.

been created between Eglington Court and Fielding Street that enhances the area, and the setback from Fielding Street which has a number of mature trees has created a very pleasant public realm. Penrose House just outside the conservation area and 8 storeys tall is a strong contrast to the 2 storey 19th Century Beehive pub on Fielding Street.

- 5.113 Nos. 48-74 Lorrimore Road are a terrace of 14 houses built in 1852 and Grade II listed. Their rhythm is very charming and enriches this western end of the Sutherland Square Conservation Area.
- 5.114 The centre of the conservation area is comprised of mid to late 20th Century housing developments. An open space has
- 5.115 It is not possible to see the Aylesbury Estate from the Sutherland Square Conservation Area. The development proposals will have no impact on the setting or significance of the conservation area or listed buildings within the area.

Site Wide & Cumulative Schemes

- 5.116 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

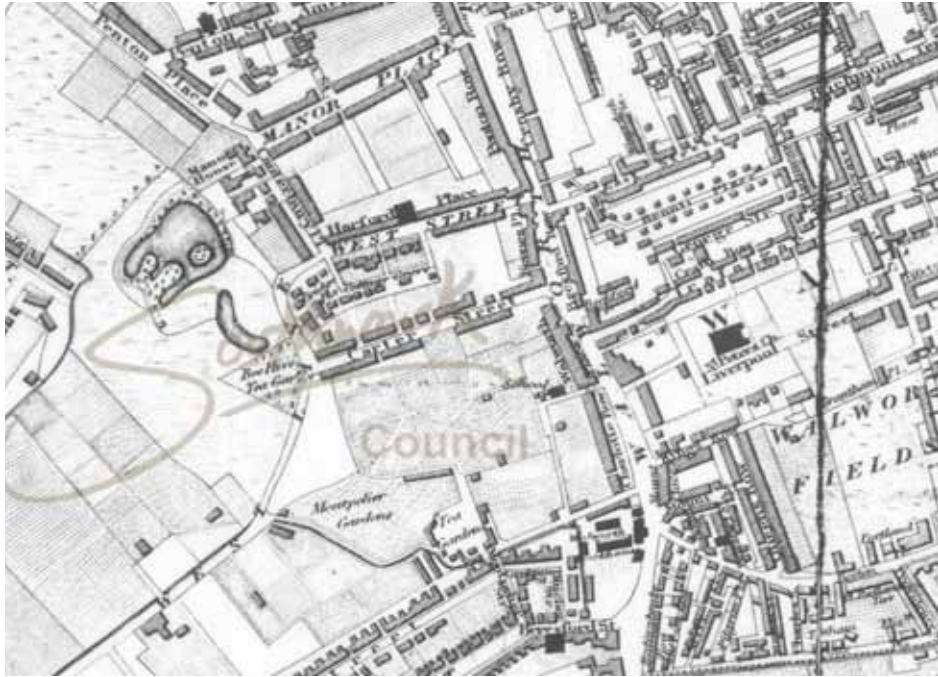
- 5.117 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

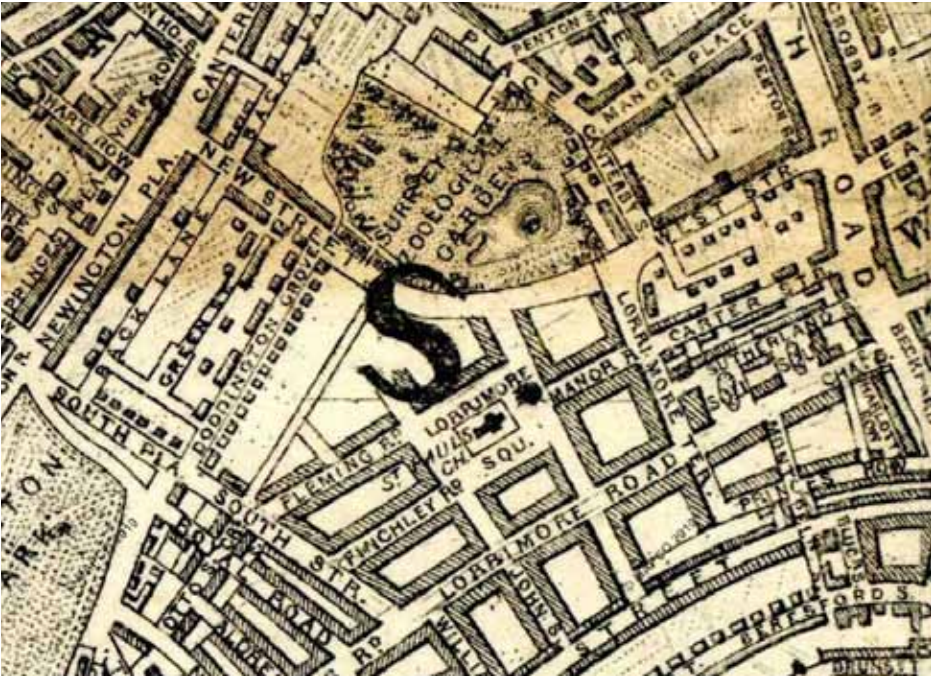
Table 5.21 Overall Impact



1830 Kennington to Peckham map (courtesy of Southwark Council)



Keely's Post Office Directory Map 1857 (http://mapco.net/)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



The Beehive pub on Fielding Street



48-74 Lorrimore Road



Terraces to Carter Street



On Fielding Street



Sutherland Square East of viaduct



SUTHERLAND HOUSE
GRADE II*
NOS 20-33,
NO 34, NOS 36-40 &
NOS 55 TO 60 SUTHERLAND SQUARE
GRADE II

- 5.118 At its East end Sutherland Square is compact and cohesive comprised of a number of listed buildings. The 1895 Ordnance Survey shows the railway has cut through the square leaving the western half more intact. It has also benefitted from recent public realm improvements designed to be sympathetic to the context.
- 5.119 The Grade II* Sutherland House in the North West corner of the square dates to 1845 its elevation is of Golden proportions in yellow brick and graced with a pedimented doorcase painted bright white. Sensitively converted it remains in use as a nursery.
- 5.120 Adjacent to the left is No 34 Sutherland Square and attached railings. Its entrance is on the approach to the square. Also of Golden proportions it is grand but the Ionic portico and familiar corniced window surrounds beneath a low eaves give the house a more homely character than its neighbour.
- 5.121 Forming the majority of the square are two storey terraces in brick with rendered semi basement with front doors at the top of a short flight of steps and articulated in render. They are restrained but have much interest and together contribute much of the cohesive feel of this part of the conservation area in which they are found. There is some surviving early ironwork to railings and window sills.

- 5.122 Nos. 55 to 60 are of a different character rising over three storeys with semi-basement featuring rendered window surrounds to the ground floor and taller first floor windows. They are generally unornamented but for the entrance doors up a flight of steps similar to their smaller neighbours.
- 5.123 It is not possible to see the Aylesbury Estate from the listed buildings of the Sutherland Square Conservation Area. The development proposals will have no impact on the setting or significance of the conservation area or listed buildings within the area.

Site Wide & Cumulative Schemes

- 5.124 The assets have no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negibible.

FDS & Cumulative Schemes

- 5.125 The assets have no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negibible.

Location of Conservation Area and Listed Buildings
(Southwark Maps)



1895 Ordnance Survey 1:1056 (National Library of Scotland)



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.22 Overall Impact

No 34 Sutherland Square



Sutherland House, Sutherland Square



Nos 55-60 Sutherland Square



Nos 30-33 Sutherland Square



48-74 LORRIMORE ROAD,
CHURCH OF ST. PAUL
GRADE II

- 5.126 The West end of the Sutherland Square Conservation Area includes the listed terrace 48-74 Lorrimore Road. It reads as a series of two-storey pavilions or villas under pitched slate roofs connected by paired entrances with rendered doorcases and roof behind parapet, all recessed behind the principal building line of the fronts of the pavilions. It is a sophisticated arrangement that forms a pleasing rhythm on the street. Ground floor windows are articulated with semi-circular heads, a string course discontinuous at the entrance block unites the pairs of houses comprising each pavilion, while upper storey windows of balanced proportion effect a tempo.
- 5.127 One street over is the Church of St. Paul, the site of an earlier church the site is annotated on the 1830 map as the Beehive Tea Garden at the end of Carter Street. Completed in 1856 the earlier church was destroyed by enemy action during the Second World War. Its replacement completed in 1960 is of concrete with striking angled gables beneath an oxidised copper roof. It contrasts with the surrounding 19th Century buildings but is of such high quality design that it enhances the area. It is just beyond the boundary of the Sutherland Square Conservation Area.
- 5.128 It is not possible to see the Aylesbury Estate from the listed buildings of the Sutherland Square Conservation Area. The development proposals will have no impact on the setting or significance of the listed buildings.

Site Wide & Cumulative Schemes

- 5.129 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.130 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Location of Conservation Area and Listed Buildings
(Southwark Maps)



1895 Ordnance Survey 1:1056
(National Library of Scotland)



1830 Kennington to Peckham map
(courtesy of Southwark Council)



48-74 Lorrimore Road



Grade II listed St. Paul's Church, Lorrimore Square



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.23 Overall Impact

20-54 SURREY SQUARE & ATTACHED
RAILINGS & RAISED PAVEMENT IN
FRONT OF 20-54 SURREY SQUARE
GRADE II

- 5.131 An important early feature of Walworth the long South facing terrace of Surrey Square completed 1794 can be seen on the 1830 Kennington to Peckham map (courtesy of Southwark Council) overlooking a substantial garden. The 1895 Ordnance Survey (courtesy of National Library of Scotland) shows a church built on the garden of the square with several other houses as Walworth became increasingly built up, a significant alteration to the early character of this area.
- 5.132 Most windows have gauged brick flat arched heads, entrance doors are given round heads and a semi-circular transom light. There are two steps forward in the elevation toward emphasising the centre bay crowned with an ornamented pediment, all ground floor windows to these bays have round heads as well as the entrance doors. The entire terrace stands on a stone pavement also Grade II listed raising the footway above the street, a feature not seen elsewhere nearby. Some good ironwork survives.
- 5.133 Being South facing and its immediate context remaining unchanged the alterations through redevelopment of the Aylesbury Estate at the west end of the street that is Surrey Square will have a minor beneficial impact on the setting of these listed buildings by opening views. Their significance remains unaffected.

Site Wide & Cumulative Schemes

- 5.134 Proposals for the Aylesbury Estate will open views westward from the raised pavement of Surrey Square. The redevelopment of Site 7 of the Aylesbury Estate cannot be seen from Surrey Square, there will be no cumulative impact.

FDS & Cumulative Schemes

- 5.135 The asset has a medium sensitivity to change but has no view of the FDS though it is near Site 7 of the Aylesbury Estate the cumulative impact is negligible.

1830 Kennington to Peckham map
(courtesy of Southwark Council)



1895 Ordnance Survey 1:1056
(National Library of Scotland)



Location of Listed Building (Southwark Maps)



Site Wide Development Option

18th Century terrace at Surrey Square



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.24 Overall Impact

ENGLISH MARTYRS SCHOOL (PART),
FLINT STREET
GRADE II

- 5.136 The neighbouring Queen Anne style school of 1875 predates the Roman Catholic Church of the English Martyrs as can be seen on the 1895 Ordnance Survey (courtesy National Library of Scotland). Beautifully ornamented with particular emphasis put on the Dean's Buildings elevation the central plaque describes the teaching of truth. The later addition of classrooms completed 1905 presenting a side elevation to Flint Street is a playful composition of curves and triangles appropriate to a school.
- 5.137 Removal of the taller slab blocks of the existing Aylesbury Estate visible beyond these rich buildings will have a moderate beneficial impact on their setting. The significance of these buildings remains unaffected.

Site Wide & Cumulative Schemes

- 5.138 Block 1 at 8 storeys and Block 2 at 10 storeys of the redevelopment of Site 7 of the Aylesbury Estate are of similar height to the existing Wendover House and may be visible from the top floor of the school. The proposals replacing Wendover and Taplow Houses will have a negligible cumulative impact on the setting of this listed building.
- 5.139 The Trafalgar Place development to the North is screened by the existing 5 storey Dawes House and cannot be seen. There will be no cumulative impact on the setting of this listed building.

FDS & Cumulative Schemes

- 5.140 The asset has a medium sensitivity to change but has no view of the FDS though it is near Site 7 of the Aylesbury Estate the cumulative impact is negligible.

Dean's Buildings entrance



Location of Listed Building (Southwark Maps)



1895 Ordnance Survey 1:1056
(National Library of Scotland)



Aedicule



Edwardian extension



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.25 Overall Impact

ROMAN CATHOLIC CHURCH OF
THE ENGLISH MARTYRS, RODNEY
ROAD; GRADE II & PRESBYTERY TO
THE ROMAN CATHOLIC CHURCH
OF THE ENGLISH MARTYRS, 142
RODNEY ROAD
GRADE II

- 5.141 Completed 1903 the church is imposing in its massing and with little ornament while the adjacent Presbytery is more homely in character though a little too tall for its width. Both are of yellow brick with red brick dressings. Presenting its East end to Flint Street the three tall, narrow pointed windows describe a nave beyond.
- 5.142 The Presbytery benefits from a ground storey bay window and the recessed entrance door is ornamented at the principal face with a pair of arched openings divided by a single column bearing on a shallow brick arch. The brick is generally as clean as when built leaving the red brick quoins of the presbytery particularly noticeable as the group makes the bend from Flint Street into Rodney Road.
- 5.143 The adjacent Primary School is similarly fresh and clean and has a tall gabled elevation to Flint Street with tall windows describing high ceilings to light and airy rooms behind.
- 5.144 Looking South past these listed buildings removal of the taller blocks of the Aylesbury Estate will have a minor beneficial impact on their setting. The significance of these buildings remains unaffected.

Location of Listed Building (Southwark Maps)



Site Wide & Cumulative Schemes

- 5.145 The nearby development of Site 7 of the Aylesbury Estate includes Block 1 at 8 storeys and Block 2 at 10 storeys which are similar in height to the existing Wendover House and will not be visible from the Church, School and Presbytery. The proposals replacing Wendover and Taplow House while beneficial will have a negligible cumulative impact on the setting of these listed buildings.
- 5.146 The Trafalgar Place development to the North is screened by the existing 5 storey Dawes House and cannot be seen. There will be no cumulative impact on the setting of these listed buildings.

FDS & Cumulative Schemes

- 5.147 The asset has a medium sensitivity to change but has no view of the FDS though it is near Site 7 of the Aylesbury Estate the cumulative impact is negligible.

Presbytery



Roman Catholic Church of the English Martyrs



Primary School



View from Flint Street looking south



		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.26 Overall Impact

80 BARLOW ST. & CHURCH OF ST. CHRISTOPHER WALWORTH
GRADE II

- 5.149 Located on Tatum Street North of the Aylesbury Estate the church was built in several phases between 1895 and 1908. Low rise with corner tower it is of an appropriate scale to its earlier two storey context. Mid 20th Century redevelopment has altered the character a good deal but Halpin Place to the rear of the church is largely unaltered.
- 5.150 The asset has a medium sensitivity to change. One of the larger blocks of the Aylesbury Estate can be seen over the roofs beyond Huntsman Street. The proposals will not be seen, there will be a minor beneficial impact. Its significance remains unaffected.

Site Wide & Cumulative Schemes

- 5.151 The asset has a medium sensitivity to change, but has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.152 The asset has a medium sensitivity to change but has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

Location of Listed Building (Southwark Maps)



View to



Detail



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.27 Overall Impact

FORMER FIRE STATION
306-312 OLD KENT ROAD
GRADE II

- 5.153 An excellent location for a fire station on the busy Old Kent Road this substantial brick building was completed in 1904. Rising contrasting quoins anchor the corner bays carrying a heavy cornice. Above this is a mansard roof with banded gables to the centre bays. The chimneys rising further skyward make this building a landmark on the Old Kent Road. The former vehicle access at ground floor has been infilled and later decorative schemes have left a harsh relationship between the building's base and upper floors.
- 5.154 The asset has a medium sensitivity to change. There is no view of the existing Aylesbury Estate or the proposals. There will be a negligible impact on the setting of this listed building. Its significance remains unaffected.

Location of Listed Building (Southwark Maps)



Site Wide & Cumulative Schemes

- 5.155 The asset has no view of the proposals or the schemes identified in Table 3.10, the impact is therefore negligible.

FDS & Cumulative Schemes

- 5.156 The asset has no view of the FDS or any of the schemes identified in Table 3.10, the impact is therefore negligible.

View from Old Kent Road (south side)



Detail



Key		Sensitivity of Receptor/Receiving Environment to Change/Effect		
		High	Medium	Low
Magnitude of Change/Effect	Major	Major	Moderate to Major	Minor to Moderate
	Moderate	Moderate to Major	Moderate	Minor
	Minor	Minor to Moderate	Minor	Negligible to Minor
	Negligible	Negligible	Negligible	Negligible

Table 5.28 Overall Impact

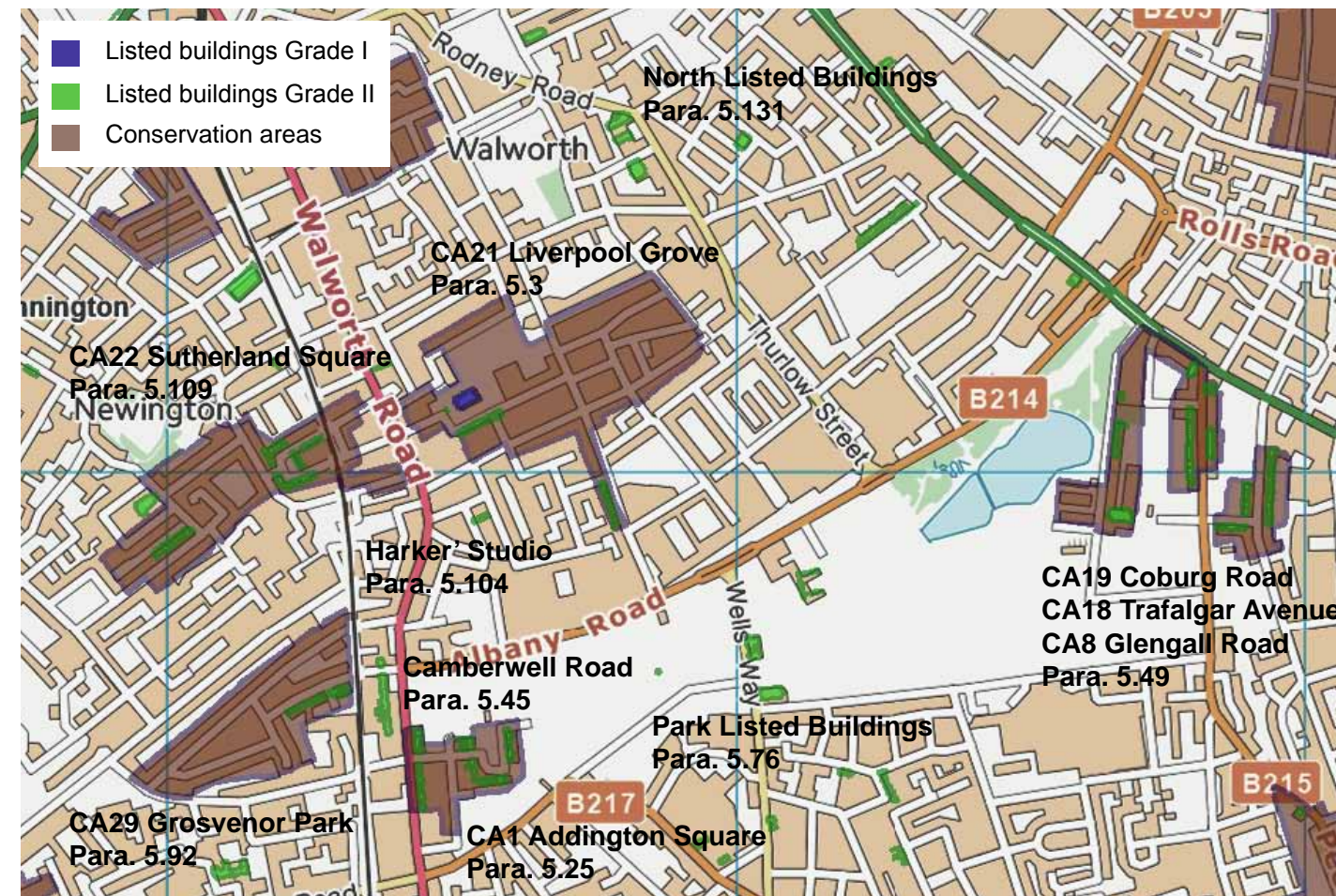
5.0 BUILT HERITAGE CONTEXT APPRAISAL

Conclusion

5.113 There will be a negligible impact on the heritage assets of highest significance which include the Grade I listed St. Peter's Church and Grade II* Sutherland House which are distant from the development site. There will be a minor to moderate beneficial impact on CA 21 Liverpool Grove including the Grade II listed Nos. 1-23 Portland Street as the setting is improved by the sensitive design of the new buildings at a more appropriate scale than the existing Aylesbury Estate. The edges of this conservation area will be improved, particularly the relationship to the buildings of Merrow Street, Portland Street and Dawes Street and views along Portland Street, Merrow Street, Aylesbury Road, Wooler Street and Trafalgar Street.

5.114 There will be a minor beneficial impact to Addington Square including the listed buildings of the Addington Square Conservation Area in long views across Burgess Park to the redevelopment. Similarly the Coburg Road Conservation Area will experience a minor beneficial impact from the redevelopment in views across Burgess Park. The listed buildings in Burgess Park will also see moderate or minor beneficial impact to their setting through the redevelopment. There will also be moderate or minor beneficial impacts on the Grade II listed Harkers Studio, Surrey Square and its raised pavement, Nos.62-92 Camberwell Road and the English Martyrs School.

5.115 There will be a negligible impact on the other conservation areas studied which include Grosvenor Park, Sutherland Square, Trafalgar Avenue and Glengall Road, also the listed buildings within them and other listed buildings which include Church of the English Martyrs and Presbytery, St.. Christopher's Church the former Fire Station and the Church of St.. Paul which are all distant and without any view of the redevelopment.



SUMMARY OF BUILT HERITAGE EFFECTS

Site Wide Development Option

HERITAGE ASSET	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	HERITAGE IMPACT	SIGNIFICANCE OF EFFECTS
01. Liverpool Grove Conservation Area	Replacement of Missenden, Taplow, Northchurch, Bradenham, Chiltern and Gayhurst Houses	Medium	Moderate/Minor	Moderate/Minor	Beneficial
02. Church of St.. Peter	Replacement of Bradenham House	High	Negligible	Negligible	Negligible
03. 28-58 Liverpool Grove	Replacement of Bradenham House	Medium	Negligible	Negligible	Negligible
04. 1-23 Portland Street	Replacement of Chiltern, Gayhurst Houses	Medium	Moderate to Major	Moderate to Major	Beneficial
05. Addington Square Conservation Area	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
06. 7-16, 33-42, 47 & 48 Addington Square	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
07. 62-92 Camberwell Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
08. 117-129 Camberwell Road	None	Medium	Negligible	Negligible	Negligible
09. Cambridge House (131-155 Camberwell Rd)	None	Medium	Negligible	Negligible	Negligible
10. Glengall Road Conservation Area	None	Low	Negligible	Negligible	Negligible
11. Trafalgar Avenue Conservation Area	None	Low	Negligible	Negligible	Negligible
12. Coburg Road Conservation Area	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
13. 29 & 31 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
14. 47 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
15. Hanover House, Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
16. 51-55 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
17. Rosetta Place, Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
18. 61 & 63 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
19. Former Church of St.. Mark	None	Medium	Negligible	Negligible	Negligible
20. Lord Nelson Public House	None	Low	Negligible	Negligible	Negligible
21. 1 & 3 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible
22. 16-61 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible
23. 25-43 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible

Table 5.29 Summary of effects

SUMMARY OF BUILT HERITAGE EFFECTS

Site Wide Development Option

HERITAGE ASSET	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	HERITAGE IMPACT	SIGNIFICANCE OF EFFECTS
24. 1-35 & 24-38 Glengall Road	None	Low	Negligible	Negligible	Negligible
25. 1-9 Glengall Terrace	None	Low	Negligible	Negligible	Negligible
26. Almshouses Chumleigh Grange	Replacement of Danesfield House	Medium	Moderate	Moderate	Beneficial
27. Lime Kiln, Burgess Park	Replacement of Bradenham House	Medium	Moderate	Moderate	Beneficial
28. Groundwork Trust Office, Wells Way	Replacement of Gayhurst House	Medium	Minor	Minor	Beneficial
29. Fmr. Church of St.. George, Wells Way	None	Medium	Negligible	Negligible	Negligible
30. Grosvenor Park Conservation Area	None	Low	Negligible	Negligible	Negligible
31. 21-36 Urlwin Street	None	Low	Negligible	Negligible	Negligible
32. 48-74 Lorrimore Road	None	Low	Negligible	Negligible	Negligible
33. Church of St.. Paul	None	Low	Negligible	Negligible	Negligible
34. Sutherland Square Conservation Area	None	Low	Negligible	Negligible	Negligible
35. Sutherland House	None	Medium	Negligible	Negligible	Negligible
36. 20-40 Sutherland Square	None	Low	Negligible	Negligible	Negligible
37. 55-60 Sutherland Square	None	Low	Negligible	Negligible	Negligible
38. Harker’s Studio, Queen’s Road	Replacement of Bradenham House	Medium	Moderate	Moderate	Beneficial
39. 20-54 Surrey Square & Raised Pavement	Replacement of Taplow House	Medium	Minor	Minor	Beneficial
40. English Martyrs School (part), Flint Street	Replacement of Taplow House	Medium	Moderate	Moderate	Beneficial
41. Church of the English Martyrs, Rodney Rd.	Replacement of Taplow House	Medium	Negligible	Negligible	Negligible
42. Presbytery, 142 Rodney Road	Replacement of Taplow House	Medium	Negligible	Negligible	Negligible
43. Church of St.. Christopher, 80 Barlow Road	Replacement of Taplow House	Medium	Negligible	Negligible	Negligible
44. Former Fire Station, 306-312 Old Kent Road	None	Medium	Negligible	Negligible	Negligible

Table 5.29 Summary of effects (continued)

SUMMARY OF BUILT HERITAGE EFFECTS

FDS Only Development Option

HERITAGE ASSET	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	HERITAGE IMPACT	SIGNIFICANCE OF EFFECTS
01. Liverpool Grove Conservation Area	Replacement of Bradenham, Chiltern and Gayhurst Houses	Medium	Moderate/Minor	Moderate/Minor	Beneficial
02. Church of St.. Peter	Replacement of Bradenham House	High	Negligible	Negligible	Negligible
03. 28-58 Liverpool Grove	Replacement of Bradenham House	Medium	Negligible	Negligible	Negligible
04. 1-23 Portland Street	Replacement of Chiltern, Gayhurst Houses	Medium	Moderate to Major	Moderate to Major	Beneficial
05. Addington Square Conservation Area	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
06. 7-16, 33-42, 47 & 48 Addington Square	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
07. 62-92 Camberwell Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
08. 117-129 Camberwell Road	None	Medium	Negligible	Negligible	Negligible
09. Cambridge House (131-155 Camberwell Rd)	None	Medium	Negligible	Negligible	Negligible
10. Glengall Road Conservation Area	None	Low	Negligible	Negligible	Negligible
11. Trafalgar Avenue Conservation Area	None	Low	Negligible	Negligible	Negligible
12. Coburg Road Conservation Area	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
13. 29 & 31 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
14. 47 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
15. Hanover House, Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
16. 51-55 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
17. Rosetta Place, Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
18. 61 & 63 Coburg Road	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
19. Former Church of St.. Mark	None	Medium	Negligible	Negligible	Negligible
20. Lord Nelson Public House	None	Low	Negligible	Negligible	Negligible
21. 1 & 3 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible
22. 16-61 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible
23. 25-43 Trafalgar Avenue	None	Low	Negligible	Negligible	Negligible

Table 5.30 Summary of effects

SUMMARY OF BUILT HERITAGE EFFECTS

FDS Only Development Option

HERITAGE ASSET	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	HERITAGE IMPACT	SIGNIFICANCE OF EFFECTS
24. 1-35 & 24-38 Glengall Road	None	Low	Negligible	Negligible	Negligible
25. 1-9 Glengall Terrace	None	Low	Negligible	Negligible	Negligible
26. Almshouses Chumleigh Grange	Replacement of Bradenham House	Medium	Minor	Minor	Beneficial
27. Lime Kiln, Burgess Park	Replacement of Bradenham, Chiltern Houses	Medium	Moderate	Moderate	Beneficial
28. Groundwork Trust Office, Wells Way	No effect, distant from FDS	Medium	n/a	n/a	n/a
29. Fmr. Church of St.. George, Wells Way	No effect, distant from FDS	Medium	n/a	n/a	n/a
30. Grosvenor Park Conservation Area	No effect, distant from FDS	Low	n/a	n/a	n/a
31. 21-36 Urlwin Street	No effect, distant from FDS	Low	n/a	n/a	n/a
32. 48-74 Lorrimore Road	No effect, distant from FDS	Low	n/a	n/a	n/a
33. Church of St.. Paul	No effect, distant from FDS	Low	n/a	n/a	n/a
34. Sutherland Square Conservation Area	No effect, distant from FDS	Low	n/a	n/a	n/a
35. Sutherland House	No effect, distant from FDS	Medium	n/a	n/a	n/a
36. 20-40 Sutherland Square	No effect, distant from FDS	Low	n/a	n/a	n/a
37. 55-60 Sutherland Square	No effect, distant from FDS	Low	n/a	n/a	n/a
38. Harker’s Studio, Queen’s Road	Replacement of Bradenham House	Medium	Moderate	Moderate	Beneficial
39. 20-54 Surrey Square & Raised Pavement	No effect, distant from FDS	Low	n/a	n/a	n/a
40. English Martyrs School (part), Flint Street	No effect, distant from FDS	Low	n/a	n/a	n/a
41. Church of the English Martyrs, Rodney Rd.	No effect, distant from FDS	Low	n/a	n/a	n/a
42. Presbytery, 142 Rodney Road	No effect, distant from FDS	Low	n/a	n/a	n/a
43. Church of St.. Christopher, 80 Barlow Road	No effect, distant from FDS	Low	n/a	n/a	n/a
44. Former Fire Station, 306-312 Old Kent Road	No effect, distant from FDS	Low	n/a	n/a	n/a

Table 5.30 Summary of effects (continued)

6.0
BASELINE AND
ASSESSMENT OF EFFECTS:
TOWNSCAPE

BASELINE INTRODUCTION

6.1 This chapter assesses the visual impact of the proposed development on the surrounding townscape character areas. The changes will be appraised for the First Development Site (FDS) alone and for the Site Wide Development including First Development Site and the completion of the later phases, as shown opposite. Both options will also be appraised in conjunction with other schemes proposed for the area (cumulative effect).

Aylesbury Illustrative Masterplan in the wider context



Key
— FDS
— FDS+Masterplan

TOWNSCAPE CHARACTER AREAS

Townscape Character Areas

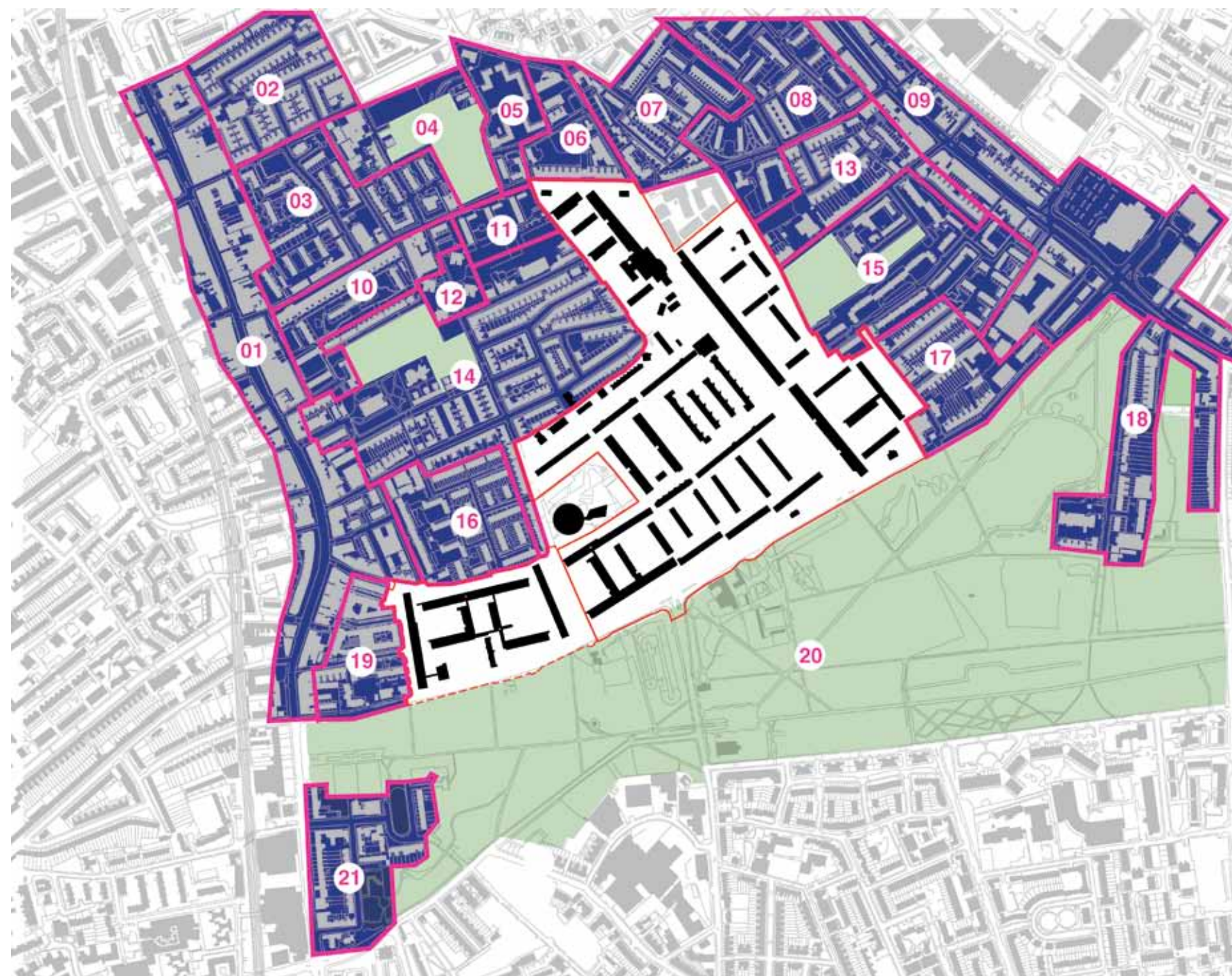
6.2 The area surrounding the site is representative of the variety of townscapes that can be found in London, commonly deriving from a mix between planned and unplanned areas. In addition, events such as the WWII bombing, or Post-War redevelopment and regeneration programmes have further contributed to its highly stratified appearance.

6.3 The area surrounding the site is therefore characterised by a great variety of urban patterns and building types, built over the centuries. They define many juxtaposed townscape character areas, some in continuity with each other, and others sharply contrasting. The character of the existing Aylesbury Estate, for example, is in stark contrast with the majority of the buildings and streets in its surroundings.

6.4 In this context, 21 townscape character areas have been identified in the surrounding areas of the development site, of which four are Conservation Areas. The areas have been established on the basis of historical patterns that can still be traced, or through analysis of the current conditions found observing the area.

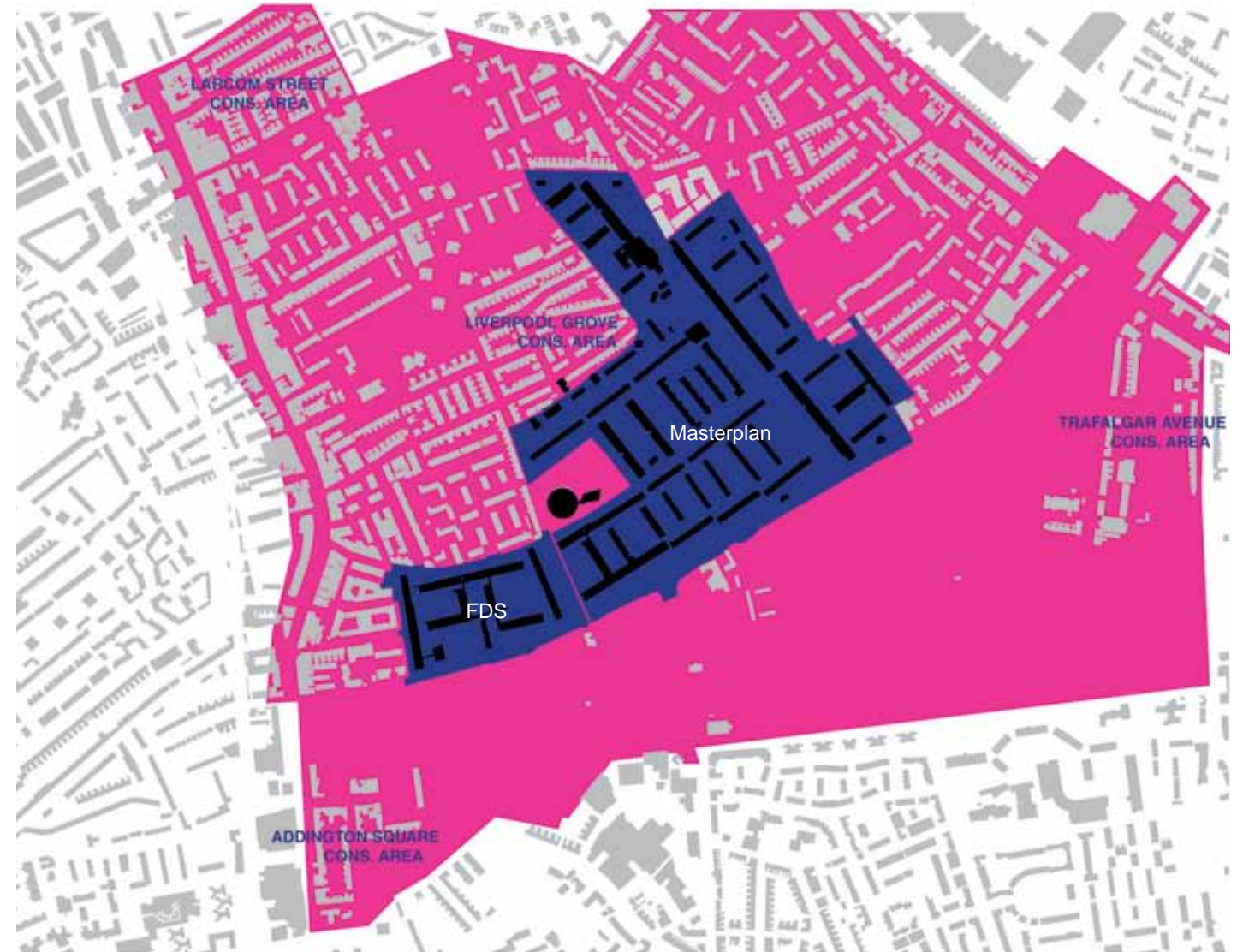
6.5 As illustrated on the figure opposite, the identified Baseline Townscape Character Areas are:

- | | |
|------------------------------------|--|
| 1. Walworth Road | 12. Portland Estate |
| 2. Larcom Street Conservation Area | 13. North of Surrey Square |
| 3. Browning Estate | 14. Liverpool Grove Conservation Area |
| 4. Nursery Row Park | 15. Surrey Square Park |
| 5. Rodney Estate | 16. Elizabeth Estate |
| 6. Victorian East Street | 17. Bagshot Area |
| 7. Elsted Street Area | 18. Albany Place |
| 8. Alvey and Congreve Estates | 19. Coburg Road Conservation Area |
| 9. Old Kent Road | 20. Burgess Park |
| 10. Nelson Estate | 21. Addington Square Conservation Area |
| 11. Kingston Estate | |



- 6.6 The baseline areas for impact assessment include all the area immediately surrounding the application site, and a few areas further away because they are Conservation Areas, such as Larcom Street or Coburg Road.
- 6.7 The following pages will explore and analyse the townscape character of each area surrounding the estate with regard to:
- **SETTING:** The context or setting of the urban area and its relationship to the wider landscape;
 - **TOPOGRAPHY:** Topography and its relationship to urban form;
 - **HISTORIC GRAIN AND HERITAGE:** The grain of the built form and its relationship to historic patterns, plus any existing listed buildings;
 - **URBAN LAYOUT AND ARCHITECTURE:** Layout and scale of the buildings, density of development and building types, including architectural qualities, period and materials;
 - **LAND USES:** Patterns of land-use, both past and present;
 - **WATER:** Contribution to the landscape of water bodies, water courses and other water features;
 - **TREES AND OTHER VEGETATION:** Nature and location of vegetation, including the different types of green space and tree cover and their relationships to buildings and streets;
 - **PUBLIC REALM AND OPEN SPACES:** Types of open space and the character and qualities of the public realm; access and connectivity, including streets and footways/pavements.

Townscape Assessment Covered Area



Key

- Development Site
- Extent of townscape assessment

TOWNSCAPE CHARACTER AREA ANALYSIS

AREA 1: Walworth Road

- 6.8 Walworth Road is a typical London high street, with low to high rental value shops, ranging from local retail to chains and many grocery stores, including M&S. Visually it is dominated by shopfronts, signage and an eclectic mix of building styles. It is a public transport corridor, and overall a busy and dynamic environment
- 6.9 Recently there have been some improvements to the public realm such as wider pavements and tree planting which have contributed to an increase in footfall.
- 6.10 This area’s sensitivity to change is Low, as there is already a great variety of building styles.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	As a high street, it is a place of natural convergence in the area. It ‘feels’ like the main thoroughfare.
Topography	Appears mostly flat, slightly lower towards Burgess Park.
Historic grain and Heritage	Running from Elephant & Castle to Camberwell, Walworth Road has been a main route and a shopping environment since the mid 17th century. A map of 1681 already shows a few houses along Walworth Street, which became the Walworth Road. The area includes Harker’s Studio on Queen’s Row, a Grade II listed building.
Urban layout and architectural qualities	As a high street, it has a continuous frontage, split in narrow parcels at ground floor, the shopfronts. The architectural styles vary from Victorian to 1980’s buildings, sometimes reflecting low-value of the uses above shops.
Land uses	Mixed-uses: retail at ground floor+ residential / offices above shops.
Water	Not applicable.
Trees and other vegetation	There are only a few small trees in the northern part of the street. Overall, the street appears mostly hard-landscaped and urban.
Public Realm and Open Spaces	Although Walworth Road is a high street / walking environment, some footpaths are still of poor quality, and some street furniture is misplaced.

Table 6.1 Baseline Character

- 6.11 FDS: The area only meets the FDS on Westmoreland Road, where local shops are situated. In other parts of this area, particularly from Walworth Road, the existing Aylesbury Estate is not visible. Therefore it is anticipated that the proposals will also not be visible. On Westmoreland Road, a new block of flats of 5 to 6 storeys will be noticeable and provide a better setting to the local shops. Therefore, the magnitude of change in the overall area is minor and it will be moderately beneficial in its significance. The overall impact is considered negligible to minor.
- 6.12 Site Wide Development: The impact of the proposed changes on the Walworth Character area will be the same as the FDS, as the rest of the masterplan will not be visible from the area.
- 6.13 FDS + Cumulative effects: Other proposed schemes will not impact this area, therefore the cumulative magnitude is minor, the overall impact is negligible to minor and the significance is moderately beneficial.
- 6.14 Site Wide + Cumulative effects: Other proposed schemes will not impact this area, therefore the cumulative magnitude is minor, the overall impact is negligible to minor and the significance is moderately beneficial.

AREA 2: Larcom Street Conservation Area

- 6.15 This Conservation Area dates from mid to late 19th century. Narrow streets fronted by terraced houses are mixed with buildings associated with St. John's Church: a vicarage, school, an institute and a pair of symmetrical residential properties enclosing the eastern end of the church. Building heights across the area are generally uniform, consisting of typical 3 storey terraces with canted ground floor bay windows, traditional Victorian detailing and small front gardens.
- 6.16 This area's sensitivity to change is High, because it is a Conservation Area, a highly valued townscape setting.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Contained and consolidated urban area, low-rise brick buildings and well-framed narrow streets.
Topography	Flat area.
Historic grain and Heritage	The layout derives from the historic plan, with small blocks and narrow plots. Grade II listed buildings: The Walworth Clinic, Southwark Central Library, the Cuming Museum and the Church of St. John the Evangelist.
Urban layout and architecture	Narrow, short streets and cul-de-sacs. Early Victorian architecture.
Land uses	Mostly residential with School, Church and Vicarage, the institute and a few corner shops.
Water	Not applicable.
Trees and other vegetation	Occasional trees along the streets, and a couple of mature trees by the church.
Public Realm and Open Spaces	Good quality public realm, although there are no open spaces as the area is tightly built.

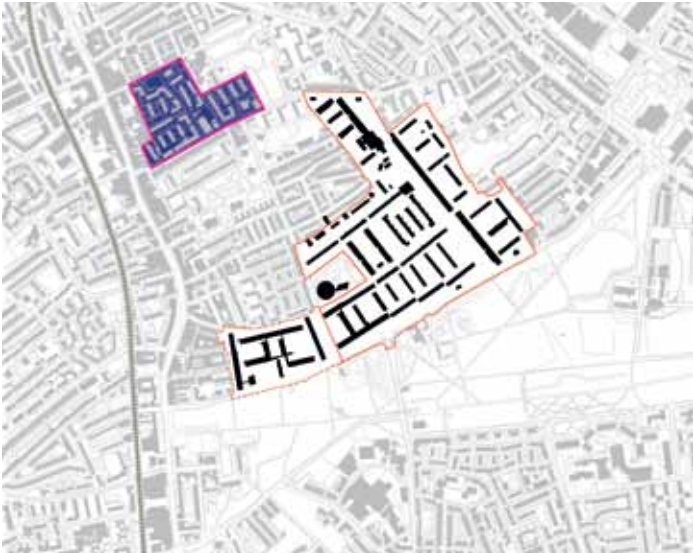
Table 6.2 Baseline Character

- 6.17 FDS: As a Conservation Area, Larcom Street is highly sensitive to change. However, since it does not boarder the edge of the Estate, the overall impact of the FDS on the area is negligible. The magnitude of change and significance are also negligible.
- 6.18 Site Wide Development: The complete redevelopment of the Estate will also have no influence on the character of Larcom Street Conservation Area. It is anticipated that the new proposal will not be visible at all from this townscape area, thus the magnitude of change, overall impact and significance are negligible.
- 6.19 FDS + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed to the North of this Conservation Area are likely to have a moderately adverse impact of low magnitude and minor overall impact on the background setting. These effects will not be seen in conjunction with the Aylesbury proposals. The Heygate scheme will have a minor positive effect of minor magnitude and minor to moderate overall impact as the northern edge of the area will be upgraded.
- 6.20 Site Wide + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed to the North of this Conservation Area are likely to have a moderately adverse impact of low magnitude and minor overall impact on the background setting. These effects will not be seen in conjunction with the Aylesbury proposals. The Heygate scheme will have a minor positive effect of minor magnitude and minor to moderate overall impact as the northern edge of the area will be upgraded.

AREA 3: Browning Estate

- 6.21 This Estate dates from the first half of the 20th century. It is a gated estate, with green areas well framed by 5 to 6 storeys brick buildings. The pitched roofs and chimneys are well expressed in the elevations, as well as the deck access to the flats.
- 6.22 This area’s sensitivity to change is Medium, as there is a consistent and coherent townscape character.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Consolidated area, with long solid 1940's public housing blocks, generally well maintained. Buildings are arranged around pedestrianised open spaces equipped with play areas. Car-free environment.
Topography	Flat area.
Historic grain and Heritage	The urban layout is characteristic of the early social housing plans of the beginning of the 20th century, which opened green spaces between built areas in contrast with the traditional Victorian / Georgian streets that lacked green.
Urban layout and architecture	Stand alone buildings, framing car-free green spaces with play equipment.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Trees on the streets, and green lawns between buildings.
Public Realm and Open Spaces	Good quality public realm inside the blocks, but with big parts shaded by the buildings. The external streets are narrow and occupied with cars, a consequence of the lack of provision inside the area.

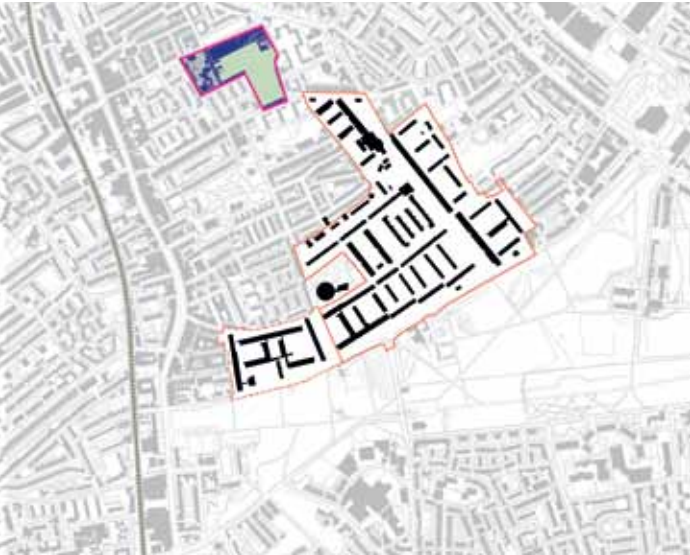
Table 6.3 Baseline Character

- 6.23 FDS: The FDS is not visible from this character area, therefore the character will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.24 Site Wide Development: The Aylesbury Estate is currently not visible from this character area and it is anticipated that after the redevelopment it will still be out of sight. Therefore the character of this estate will remain the same after completion of the proposals. Magnitude, overall impact and significance of the changes are negligible.
- 6.25 FDS + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area are likely to have a minor adverse impact of minor magnitude and minor overall impact on the background setting of the Estate. These effects will not be seen in conjunction with the Aylesbury proposals.
- 6.26 Site Wide + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area are likely to have a minor adverse impact of minor magnitude and minor overall impact on the background setting of the Estate. These effects will not be seen in conjunction with the Aylesbury proposals.

Key plan and photographs of the area

AREA 4: Nursery Row Park

- 6.27 This small local park offers some relief from the consolidated built environment of the Estates nearby. The park is equipped with a children's play area. Most green areas are separated from the paths through by tall stone kerbs, and there are some mature trees. It includes a wildlife meadow and a community orchard. In the adjacency there is medium-size car park and an old pub. One of the sides of the Park faces the East Street Market.
- 6.28 This area's sensitivity to change is Medium, as there is a coherent townscape character and a good quality open space, the park.



Impact assessment

ISSUES	CHARACTER
Setting	Open between solid brick buildings, frequently described as the 'lung' of the area. Landscaped area with bushes, lawn and mature trees.
Topography	Flat area with raised landscaped areas between footpaths.
Historic grain and Heritage	There is no evidence of a historic urban pattern, nor listed buildings.
Urban layout and architecture	Open space with some uncharacteristic architectural elements, such as The Crown, an old pub.
Land uses	Open space, residential and surface car park.
Water	Not applicable.
Trees and other vegetation	Mature trees, bushes and grass areas.
Public Realm and Open Spaces	Good quality public realm. Nursery Row Park is a pleasant local open space.

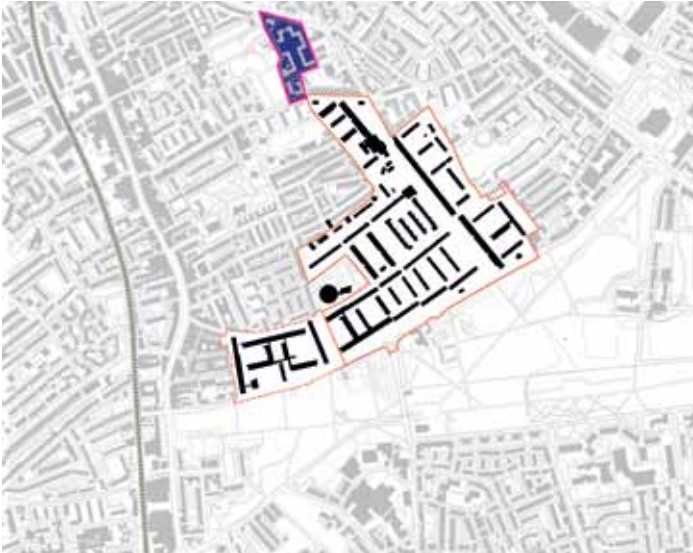
Table 6.4 Baseline Character

- 6.29 FDS: The FDS is not visible from this character area, therefore the character of the Nursery Row Park area will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.30 Site Wide Development: The Aylesbury Estate does not have an edge to this character area. However, it is anticipated that if the landmark proposed for Aylesbury Square is designed to the maximum of 15 storeys, it will be visible from some parts of Nursery Row Park, but only between trees. Even if this is the case, given the distance, the magnitude, overall impact and significance of the change after completion of the proposals will still be negligible, as there will be no deterioration or improvement to the intrinsic characteristics of this area.
- 6.31 FDS + Cumulative effects: A scheme of 4 to 7 storeys proposed on Stead Street will create a more built frontage to the north of the Park, which will have a minor overall impact of minor magnitude and minor adverse significance. This effect will not be seen in conjunction with the Aylesbury proposals. Other proposed schemes will not impact this area.
- 6.32 Site Wide + Cumulative effects: A scheme of 4 to 7 storeys proposed on Stead Street will create a more built frontage to the north of the Park, which will cumulative have a minor overall impact of minor magnitude and minor adverse significance. This effect will not be seen in conjunction with the Aylesbury proposals. Other proposed schemes will not impact this area.

AREA 5: Rodney Estate

- 6.33 This Estate dates from the first half of the 20th century. It is a gated environment, with a surface car park framed by 5 to 6 storeys brick buildings with deck access to the flats. Pitched roofs and chimneys are well expressed in the elevations. To the rear of the buildings there are green areas used by local youth.
- 6.34 This area's sensitivity to change is Medium, as there is a consistent and coherent townscape character.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Formally arranged long solid red-brick buildings, generally well maintained. Buildings are accessed from shared surfaces with car park.
Topography	Flat area.
Historic grain and Heritage	The urban layout is characteristic of the early social housing plans of the beginning of the 20th century, which opened spaces between built areas in contrast with the traditional Victorian / Georgian streets that lacked open spaces. However, this Estate has a car park as the setting at the entrance, and green spaces only to the rear.
Urban layout and architecture	Stand alone buildings, framing open spaces - used as car park or lawn areas.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Few young trees. Large lawn area to the rear of the buildings.
Public Realm and Open Spaces	Poor quality public realm, dominated by car parking at the front. Semi-private green areas at the rear of the blocks create a better setting, and are used by local children.

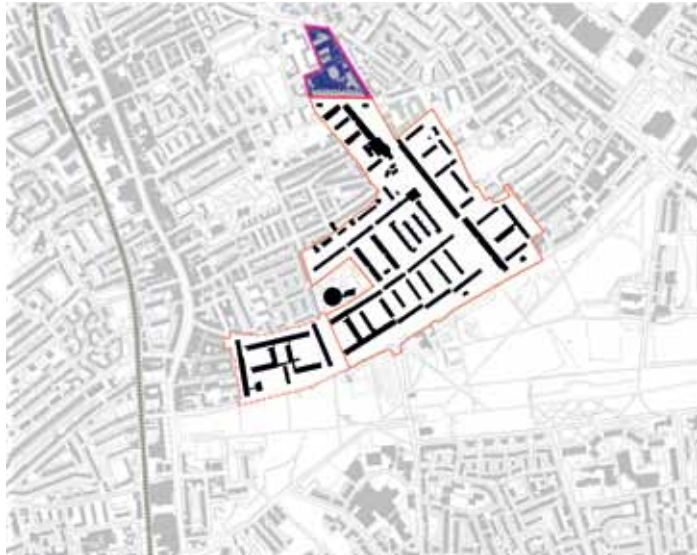
Table 6.5 Baseline Character

- 6.35 FDS: The FDS is not visible from this character area, therefore the character of Rodney Estate will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.36 Site Wide Development: The Aylesbury Estate does not have an edge to this character area. However, it is anticipated that if the landmark proposed for Aylesbury Square is designed to the maximum height of 15 storeys, it may be visible from the central green area, at distance. Even if this is the case, the magnitude, overall impact and significance of the change after completion of the proposals will still be negligible, as there will be no deterioration or improvement to the intrinsic characteristics of this area.
- 6.37 FDS + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area are likely to have a minor adverse impact of minor magnitude and minor overall impact on the background setting of the Estate. These effects will not be seen in conjunction with the Aylesbury proposals.
- 6.38 Site Wide + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area are likely to have a minor adverse impact of minor magnitude and minor overall impact on the background setting of the Estate. These effects will not be seen in conjunction with the Aylesbury proposals.

AREA 6: Victorian East Street

- 6.39 This area differs in character from the rest of East Street. It has a well-proportioned row of Victorian houses, other Victorian buildings towards Rodney Road and a nursery. In addition, there are three Grade II listed buildings on Flint Street: the Church of the English Martyrs and the English Martyrs Catholic Primary School.
- 6.40 This area’s sensitivity to change is Medium, as there is a coherent townscape character and a few listed buildings.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	3 to 4 storey buildings, Victorian style houses in a tree-lined street and solid yellow-brick listed buildings, the School and the Church. There are left-over areas to the rear of the School building which is used as storage space.
Topography	Flat area.
Historic grain and Heritage	East Street is an old connection in the area, as shown in the historic maps. Grade II listed buildings contribute to the ‘feeling’ of good quality architecture in this area. They are the Church of the English Martyrs, the English Martyrs Catholic Primary School and the English Martyrs Roman Catholic School.
Urban layout and architecture	Fragmented blocks, terraced houses, Victorian architecture.
Land uses	Residential, Primary Schools, Welfare Centre and Church.
Water	Not applicable.
Trees and other vegetation	Mature trees along East Street and small trees near the School.
Public Realm and Open Spaces	Good public realm on the streets. There are no open spaces.

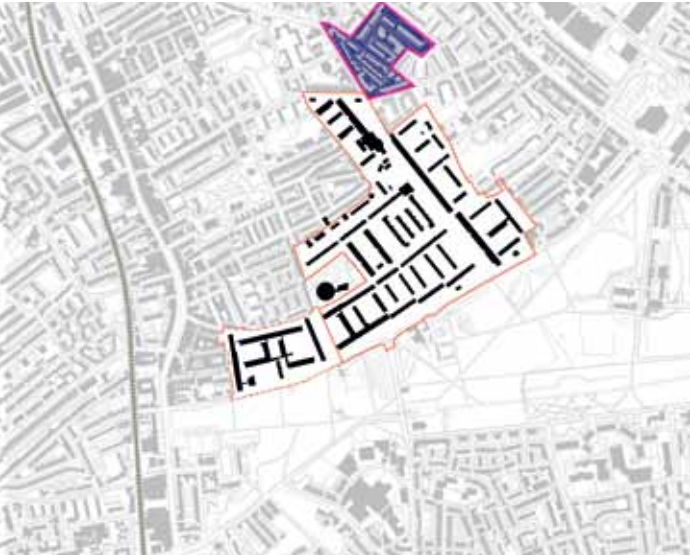
Table 6.6 Baseline Character

- 6.41 FDS: The FDS is not visible from this character area, therefore the character of Victorian East Street area will remain the same after completion of the proposals. Both magnitude, overall impact and significance of the changes are negligible.
- 6.42 Site Wide Development: The northern edge of the site faces the Victorian terraces on East Street. It is anticipated that, after completion of the proposals for new town houses on East Street south side, the character of the area will significantly improve. Therefore it is considered that the magnitude of change is major, overall impact is moderate to major and the significance is major beneficial.
- 6.43 FDS + Cumulative effects: Other proposed schemes will not impact this area, therefore cumulatively magnitude, significance and overall impact of the changes are negligible.
- 6.44 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Therefore cumulative impacts remain as per the site wide development alone, with magnitude of change major, overall impact moderate to major and significance major beneficial.

Key plan and photographs of the area

AREA 7: Elsted Street Area

- 6.45 Appearing generally suburban, this area consists of a mix of 3 storey houses and 4 storey flats dating from 1970's / 1980's. It includes the Barlow, Congreve and Kennedy Walk Estates, and a street of private housing. The buildings frame the streets, but most are at an angle, creating a distinct and dynamic setting.
- 6.46 This area's sensitivity to change is Low, as there is already a great variety of building styles.



Impact assessment

ISSUES	CHARACTER
Setting	Fairly suburban setting, low-density area consisting of semi-detached houses and small blocks of flats, part of three distinct estates. A row of early Victorian houses remains at Tisdall Place, probably from the historic development.
Topography	Flat area.
Historic grain and Heritage	No historic urban grain, and one Grade II listed building: St. Christopher's Church.
Urban layout and architecture	Narrow streets and mixed architecture styles and periods.
Land uses	Residential and a church.
Water	Not applicable.
Trees and other vegetation	Private frontgardens, generally well kept, provide a hint of green to the streets. Most houses have private amenity spaces to the back.
Public Realm and Open Spaces	Suburban streets, with good daylight penetration and good proportions.

Table 6.7 Baseline Character

- 6.47 FDS: The FDS is not visible from this character area, therefore the character of the various estates that form this area will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.48 Site Wide Development: Only Thurlow Street's north-east corner interfaces with this character area. With the proposals for Site 7 (L&Q) under construction, the new development will not be visible as it will be hidden behind. There will be a change of minor magnitude, minor overall impact and minor benefit gained from the upgrade of East Street.
- 6.49 FDS + Cumulative effects: With the scheme proposed for Site 7 (L&Q) the changes will have a moderate magnitude, overall minor impact and moderate beneficial effect compared to the existing situation, particularly on the public realm on East Street. As shown on verified view 1, the area will appear more built. Other proposed schemes will not impact this area.
- 6.50 Site Wide + Cumulative effects: The scheme proposed for Site 7 (L&Q) will add to the changes of the site wide development. As shown on verified view 1, the area will appear more built. There will be a change of high magnitude, overall minor to moderate impact and major beneficial significance compared to the existing situation, particularly on the public realm on East Street. Other proposed schemes will not impact this area.

AREA 8: Alvey and Congreve Estates

- 6.51 These Estates date from the first half of the 20th century. They are dispersed, set back from the streets and surrounded by open spaces. Pitched roofs and deck access to the flats are well expressed in the elevations, where brown/ red brick is the dominant material. The buildings are 4 to 6 storeys and they appear very solid and generally well maintained. To the rear of the buildings there are green areas, and some children’s play equipment. Cul-de-sacs and inactive street frontages define the urban experience.
- 6.52 This area’s sensitivity to change is Medium, as there is a consistent and coherent townscape character.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Formally arranged 4 to 6 storeys, solid brick buildings, generally well maintained. Buildings are accessed from deck galleries, which are well expressed in the elevations.
Topography	Flat area.
Historic grain and Heritage	The urban layout is characteristic of the early social housing plans of the beginning of the 20th century, which opened spaces between built areas in contrast with the traditional Victorian / Georgian streets that lacked open spaces.
Urban layout and architecture	Stand alone buildings, framing open spaces - used as car park, play spaces or lawn areas. Alvey Estate is laid out on a radial arrangement.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Mature trees and large lawn areas between the buildings.
Public Realm and Open Spaces	Poorly defined streets. Semi-private green areas at the rear of the blocks create a good setting in contrast with the solid brick buildings. These areas are more a visual amenity and are not very much used.

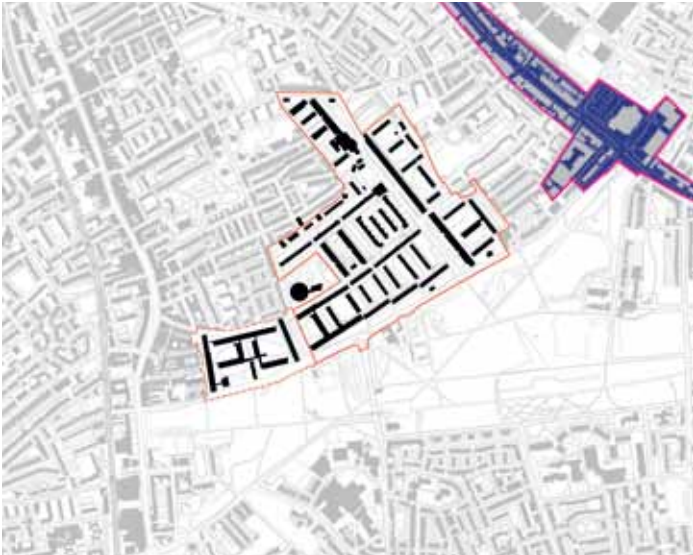
Table 6.8 Baseline Character

- 6.53 FDS: The FDS is not visible from this character area, therefore the character of these estates will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.54 Site Wide Development: The North-East corner of the block proposed on Sedan Way will be facing a playground on Alvey Estate part of this character area. The proposals will only be visible from this open space, and will not affect the rest of the character area. The change will be noticeable, and the magnitude of change is moderate. The overall impact of this change is considered moderate. Its character will be enhanced following completion of the proposals, thus the significance is moderately beneficial.
- 6.55 FDS + Cumulative effects: With the scheme proposed for Site 7 (L&Q) the changes will have a moderate magnitude, overall minor impact, moderate beneficial significance compared to the existing situation, particularly on the public realm of Sedan Way. Other proposed schemes will not impact this area.
- 6.56 FDS + Cumulative effects: The scheme proposed for Site 7 (L&Q) will add to the changes of the site wide development. The changes will have a major magnitude, overall moderate to major impact, major beneficial significance compared to the existing situation, particularly on the public realm of Sedan Way. Other proposed schemes will not impact this area.

AREA 9: Old Kent Road

- 6.57 Old Kent Road is a low rental value high street, on a historic route to the South. Visually it is dominated by shopfronts, signage and an eclectic mix of building styles. It includes small take-aways, corner shops, money transfer units, hairdressers and retail park style stores such as Tesco, surrounded by surface car parking. Being a public transport corridor and a car dominated environment it is overall a busy and unpleasant place. The Walworth Academy, near Burgess Park, has also been included in this area.
- 6.58 This area’s sensitivity to change is Low, as there is already a great variety of building styles.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Old Kent Road is a busy thoroughfare, dominated by heavy traffic.
Topography	Appears mostly flat, slightly lower towards south.
Historic grain and Heritage	Running from Elephant & Castle to Peckham, Old Kent Road is a historic route into London. It has been a main route since Watling Street, the Roman road which ran from Dover to London through this location. Currently it has only one listed building, Grade II, the Fire Station near the Walworth Academy.
Urban layout and architectural qualities	It has a continuous frontage, split in narrow parcels at ground floor, the shopfronts. The architectural styles vary from Victorian to 1980's buildings. Generally buildings appear poorly maintained.
Land uses	Mixed-uses: retail at ground floor, residential / workshops above shops.
Water	Not applicable.
Trees and other vegetation	Overall, the street appears mostly urban. It has a few trees on the North side, but lacks other landscape elements.
Public Realm and Open Spaces	There are no open spaces along this route, apart from surface car parking areas. Poor-quality and car-oriented public realm.

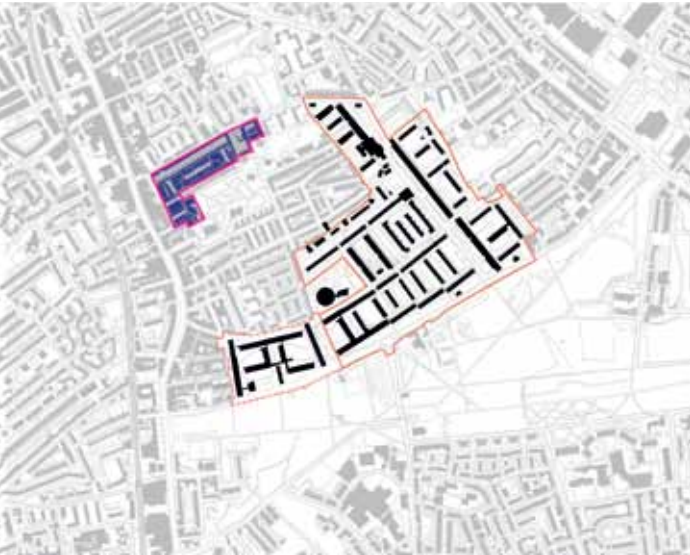
Table 6.9 Baseline Character

- 6.59 FDS: The FDS is not visible from this character area, therefore the character of Old Kent Road will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.60 Site Wide Development: Only the taller buildings of the Aylesbury Estate are currently visible from this area. It is likely that, after completion of the proposals, the taller buildings on the Park edge and on Aylesbury Square will also be visible in the background of the West side of Old Kent Road. But, given the distance and the low sensitivity of the area to changes, proposals will have a negligible impact to the area in terms of both magnitude, overall impact and significance.
- 6.61 FDS + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area will be seen at distance, and are likely to have a minor adverse impact, of minor magnitude and negligible to minor overall effect. These effects will not be seen in conjunction with the Aylesbury proposals.
- 6.62 Site Wide + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area will be seen at distance, and are likely to have a minor adverse impact, of minor magnitude and negligible to minor. These effects will not be seen in conjunction with the Aylesbury proposals.

Key plan and photographs of the area

AREA 10: Nelson Estate

- 6.63 This area includes the Nelson Estate, formed by 3 storey buildings on East Street and 7 storey buildings on Bronti Close and Walworth Place plus a warehouse and a church. The urban layout follows East Street, an old route in the area which has the East Street Market. All the buildings in the area are clad in brick, but they appear heterogeneous as their construction period probably ranges from 1940 to 1970's, with recent upgrades in windows, doors etc.
- 6.64 East Street has active frontages, whereas Bronti Close appears as the back of house, with garages facing on to the public realm and inactive frontages. The warehouse also creates a continuous dead frontage on Portland Street.
- 6.65 This area's sensitivity to change is Low, as there is already a great variety of building styles.



Impact assessment

- 6.66 FDS: The FDS is not visible from this character area, therefore the character of this estate will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.67 Site Wide Development: The Aylesbury Estate is currently not visible from this character area and it is anticipated that after the redevelopment it will still be out of sight. Therefore the character of this estate will remain the same after completion of the proposals. Magnitude, overall impact and significance of the changes are negligible.
- 6.68 FDS + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area may appear in a few points, but far in the background. Given the distance and low sensitivity of this area, the impact is considered negligible in terms of magnitude, overall impact and significance.
- 6.69 Site Wide + Cumulative effects: Schemes with tall buildings (15 to 44 storeys) proposed around the Elephant and Castle station area may appear in a few points, but far in the background. Given the distance and low sensitivity of this area, the impact is considered negligible in terms of magnitude, overall impact and significance.

ISSUES	CHARACTER
Setting	Heterogeneous mix of buildings ranging from 2 to 7 storeys. On East Street buildings have a continuous active frontage part of the market environment. On Bronti Close and Walworth Place they are set back from the street, either facing a car park or a ball court. Some of these buildings are accessed from deck galleries, which are well expressed in the elevations. The overall environment appears stratified, and the area feels unplanned and lacking in quality public realm.
Topography	Flat area.
Historic grain and Heritage	The urban layout follows East Street, where there has been street trading since the 16th Century. There are no listed buildings in the area.
Urban layout and architecture	Uncharacteristic architecture, ranging from the 1940's to the 1970's.
Land uses	Retail / Market, residential, warehouse and church.
Water	Not applicable.
Trees and other vegetation	With exception of a lawn between the blocks on Walworth Place, the area does not have any vegetation or trees.
Public Realm and Open Spaces	East Street has a wide-pedestrian area, characteristic of a trading zone. All other areas have poor quality public realm, with inactive frontages (i.e. garages, blank walls, car parking) and lose edges.

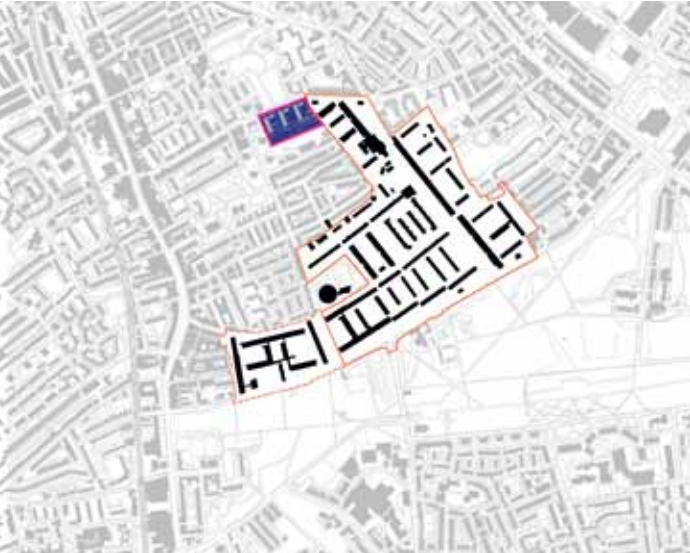
Table 6.10 Baseline Character

Table 6.20 Overall Impact

Key plan and photographs of the area

AREA 11: Kingston Estate

- 6.70 Three parallel stand-alone buildings, arranged in an 'L' shaped layout. The 3 storey east-west wings align with East Street and the north-south 5 storey wings are dispersed in a landscaped area.
- 6.71 The buildings appear well maintained and the setting appears almost suburban due to the space left between the blocks and the lack of frontages or relationship with the streets.
- 6.72 Although the area has a legible urban layout, movement through appears unsafe due to underpasses and because entrances to the maisonettes for example are from the car parking at the rear of the blocks.
- 6.73 This area's sensitivity to change is Low, as there is no major value in the overall townscape character.



Impact assessment

ISSUES	CHARACTER
Setting	The area appears suburban, airy and spacious. Brick buildings with pitched roofs dispersed in a well kept lawn area.
Topography	Flat area.
Historic grain and Heritage	The layout is characteristic of a modern approach to urban planning, with parallel buildings dispersed in the open space, set back from the streets. There are no listed buildings.
Urban layout and architectural qualities	Although well maintained and set within a good landscaped environment, the architecture appears of poor construction quality. Buildings are characteristic of a generic economic type used for public housing in the 1960/ 1970's.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Several mature trees and large lawn areas complete the green setting of the area.
Public Realm and Open Spaces	There is plenty of green open space between the blocks, but it is not accessible. There is a small playground and car parking areas.

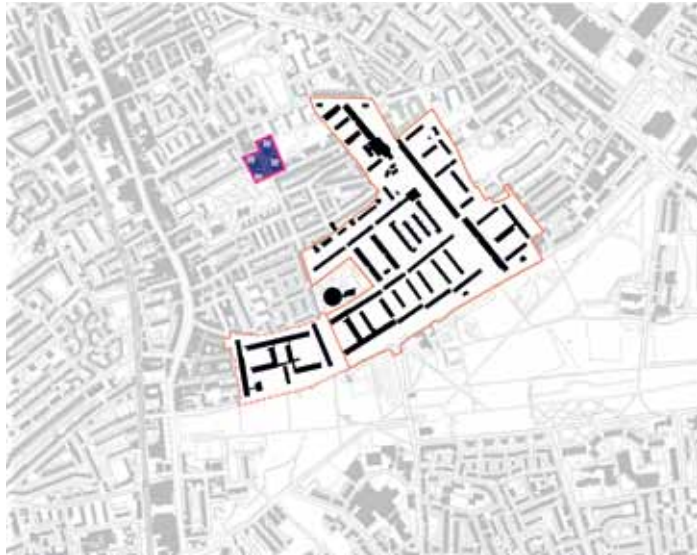
- 6.74 FDS: The FDS is not visible from this character area, therefore the character of this estate will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.75 Site Wide Development: The site for redevelopment has an edge to Kingston Estate on Dawes Street. The proposals in this area are for low-density town houses and an open space (Dawes Park), which will be very visible from the edge of the character area. The changes will not deteriorate the character of the area, and the proposed open space is likely to enhance the existing character. Hence it is considered that changes will be of moderate magnitude, minor overall impact and moderate beneficial significance.
- 6.76 FDS + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.
- 6.77 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Therefore cumulatively it is considered that changes will be equivalent to the site wide development alone. These are of moderate magnitude, minor overall impact and moderate beneficial significance.

Table 6.11 Baseline Character

AREA 12: Portland Estate

- 6.78 This area consists of four 15 storey tower blocks on Portland Street. These are set back from the street, on an angle, dispersed on a green area with a path leading on to the frontdoor. They appear solid and repetitive, clad in red-brick with white projected balconies and white frames highlighting windows. They sharply contrast with the surroundings as they are the tallest buildings in the wider area.
- 6.79 This area’s sensitivity to change is Low, as there is no major value in the overall townscape character.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Composition of four 15 storey towers, the tallest buildings in the wider area. Solid and geometric, the towers appear repetitive. As a group on its own they are very distinct from the surroundings.
Topography	Flat area.
Historic grain and Heritage	Not applicable.
Urban layout and architecture	Group of 4 stand alone buildings. Red-brick solid modular architecture, dating probably from the 1970's.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Lawn areas separate the towers from the street. There are some young and mature trees around the towers.
Public Realm and Open Spaces	The green open spaces are not accessible. Portland Street, between the tower blocks, has generally good quality footpaths and hedges. The entrance to the towers are paved in concrete and appear uninviting due to rubbish bins and lack of detail.

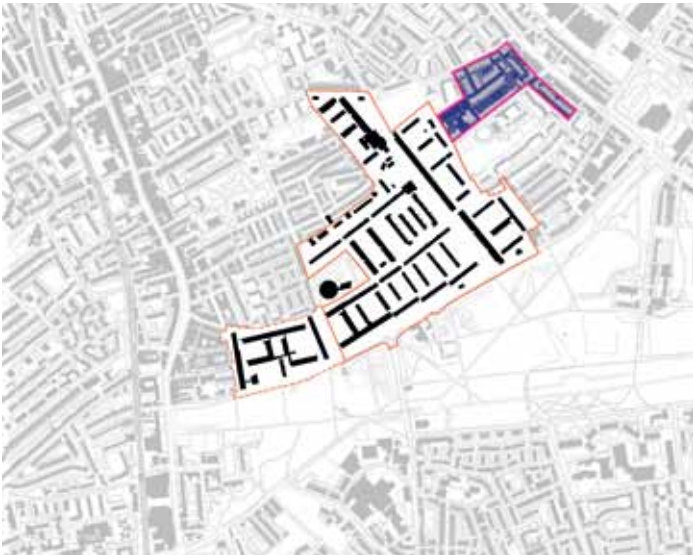
Table 6.12 Baseline Character

- 6.80 FDS: The FDS is not visible from this character area, therefore the character of this estate will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.81 Site Wide Development: The Aylesbury Estate is not visible from this character area, therefore the character of this estate will remain the same after completion of the proposals. Magnitude, overall impact and significance of the changes are negligible.
- 6.82 FDS + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.
- 6.83 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.

AREA 13: North of Surrey Square

- 6.84 This low-density area consists of 2 to 3 storey Early-Victorian terraced houses, with canted ground floor bay windows, traditional Victorian detailing and small front gardens. There is also a row of Grade II listed Georgian terraces facing Surrey Square and the Surrey Square Primary School, a Victorian 6 storeys building. The dominant material is brick, found in yellow, brown and red London stock mix.
- 6.85 Some streets are two-ways, with narrow pavements and on-street parking, and others are dead ends.
- 6.86 This area’s sensitivity to change is Medium, as there is a coherent townscape character and a few listed buildings.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Contained and consolidated urban area, low-rise brick buildings and well-framed narrow streets.
Topography	Flat area.
Historic grain and Heritage	The layout derives from the historic plan, with small blocks and narrow plots. Surrey Square numbers 20 to 54 are Grade II listed buildings.
Urban layout and architectural qualities	The layout derives from the historic plan, with small blocks and narrow plots.
Land uses	Residential and School.
Water	Not applicable.
Trees and other vegetation	There is vegetation in the private backgardens of the houses, including trees and grassed areas. There are no trees in the streets.
Public Realm and Open Spaces	The streets are narrow, but well-proportioned and the public realm is generally good, well-kept and a pleasant walking environment.

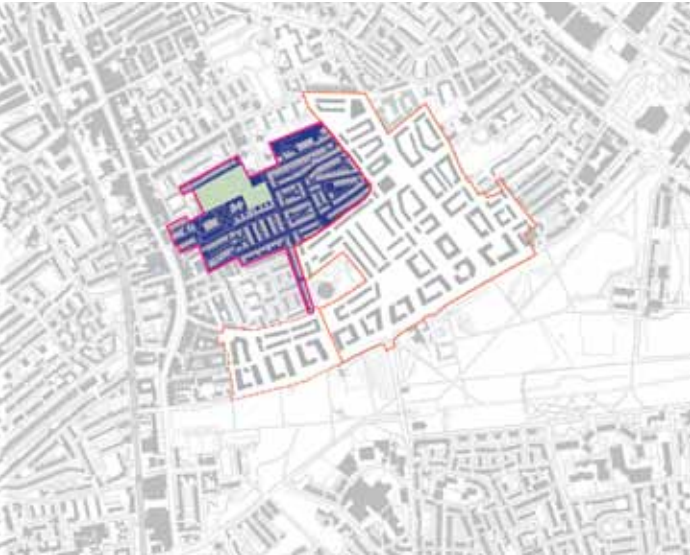
Table 6.13 Baseline Character

- 6.87 FDS: The FDS is not visible from this character area, therefore the character of this area will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.88 Site Wide Development: The North-East corner of the blocks proposed on Alvey Street will be facing rows of terraces part of this character area. The proposals will only be visible from this street, and will not have any impact on the rest of the character area. The change will be noticeable, the magnitude of change is moderate and the overall impact is moderate. Its character will be enhanced following completion of the proposals, thus the significance is moderately beneficial.
- 6.89 FDS + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.
- 6.90 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. The cumulative changes are equivalent to those of the site wide development alone. They are considered moderate in magnitude and overall impact, and moderately beneficial in terms of significance.

Key plan and photographs of the area

AREA 14: Liverpool Grove Conservation Area

6.91 This is the largest Conservation Area closer to the application site. This area is characterised by narrow streets, a pattern developed in the early years of the 19th century. Only the Grade II listed terraces on Liverpool Grove opposite the Church remain from that period. The other buildings are 2 to 4 storey brick built terraces and blocks of flats. There are two dominant styles: rustic and neoclassical, plus some late Victorian/Edwardian housing with arts and crafts features. Included in this area are Faraday gardens, a local park where St. Peters Church is located, the only Grade I Listed building within the covered zone.



6.92 This area’s sensitivity to change is high, because it is a Conservation Area, a highly valued townscape setting.

ISSUES	CHARACTER
Setting	Narrow well-dimensioned streets, with interesting changes in alignments such as the dog-leg of Liverpool Grove around the churchyard. Overall, it appears as a coherent and high-quality area, clad in brown-brick and with many details such as roofs, mansards, entrance canopies, white-framed windows and red frontdoors.
Topography	Flat area.
Historic grain and Heritage	The street pattern was developed in the early years of the 19th century, and the Grade II listed terraces on Liverpool Grove are from the original development. There is a Grade I Listed building, St. Peter’s Church and its churchyard. There are also Grade II listed buildings on 1 to 11 Portland Street across from the School.
Urban layout and architecture	Narrow, traditional terraced houses. Dwellings are 2 to 3 storey brick built terraces and low-rise blocks of flats.
Land uses	Residential, School and Church.
Water	Not applicable.
Trees and other vegetation	There are many mature trees along the streets and there is an open space surrounding the church.
Public Realm and Open Spaces	Very good quality environment, with narrow human scale tree-lined streets. The church sits within a landscaped open space, where there are many old trees and varied landscape. Faraday Gardens are also included within this character area.

Table 6.14 Baseline Character

Impact assessment

6.93 FDS: The FDS will meet the area on the corner of Westmoreland Road and Portland Street. Proposals affecting the area include a 5 and 6 storeys building close to the existing Grade II listed terraces. The fundamental characteristics and value of the Conservation Area will not be affected by the development. The development will create a better setting for the area than what is currently on the site, particularly on Portland Street. It is therefore considered that changes will be of moderate magnitude, moderate to major overall impact and the significance will be moderately beneficial.

6.94 Site Wide Development: The complete redevelopment of the Aylesbury Estate will meet the conservation area on Portland Street, Westmoreland Road corner, south of Merrow Street and along Dawes Street. The proposals impacting the area include new townhouses and local streets which will continue the scale, typology and some features of the existing terraces (i.e. pitched roofs). The change will be highly visible, and the new development will create a better setting to the Conservation Area than the current situation. Therefore, the changes will be of major magnitude, major overall impact and the significance will be major beneficial.

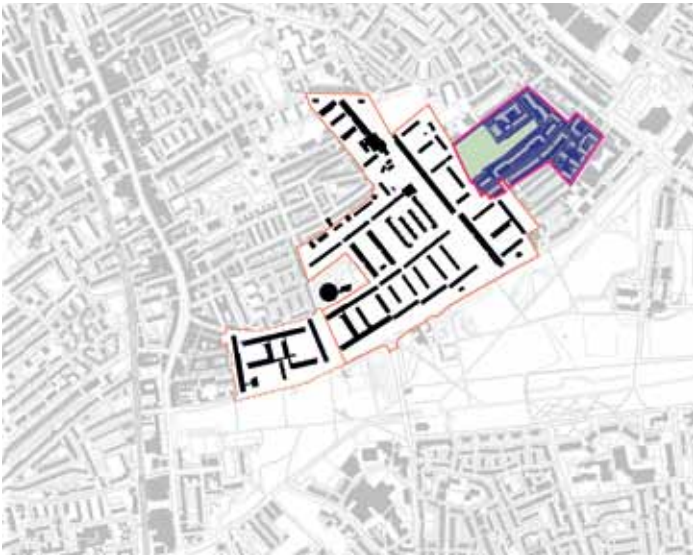
6.95 FDS + Cumulative effects: Other proposed schemes will not impact this area. Thus the impact of changes is cumulatively the same as on the FDS alone. It is therefore considered that changes will be of moderate magnitude, moderate to major overall impact and the significance will be moderately beneficial.

6.96 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. The impact of changes is the same as on the site wide development alone. It is therefore considered that changes will be of major magnitude, major overall impact and the significance will be major beneficial.

AREA 15: Surrey Square Park

- 6.97 These Estates date from the first half of the 20th Century. Some buildings frame the streets, but not all of them. Pitched roofs and deck access to the flats are well expressed in the elevations, where brown/ red brick is the dominant material. The buildings are 6 storeys tall and they appear very solid and generally well maintained. Between the buildings there are surface car parking areas, and some play equipment.
- 6.98 Surrey Square, a well-proportioned small park offering good quality public realm and playgrounds is also included in this area.
- 6.99 This area’s sensitivity to change is medium, as there is a consistent and coherent townscape character and a good open space, Surrey Park.

Key plan and photographs of the area



Impact assessment

- 6.100FDS: The FDS is not visible from this character area, therefore the character of this area will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.101Site Wide Development: The complete proposed redevelopment of the Aylesbury Estate includes a series of blocks facing Surrey Square Park. This proposals will continue the scale and some features of the existing buildings to improve the park setting. Therefore the changes will be of moderate magnitude, moderate overall impact and the significance will be moderately beneficial.
- 6.102FDS + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.
- 6.103Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Thus the impact of changes is cumulatively the same as on the site wide development alone. It is therefore considered that changes will be of moderate magnitude, moderate overall impact and the significance will be moderately beneficial.

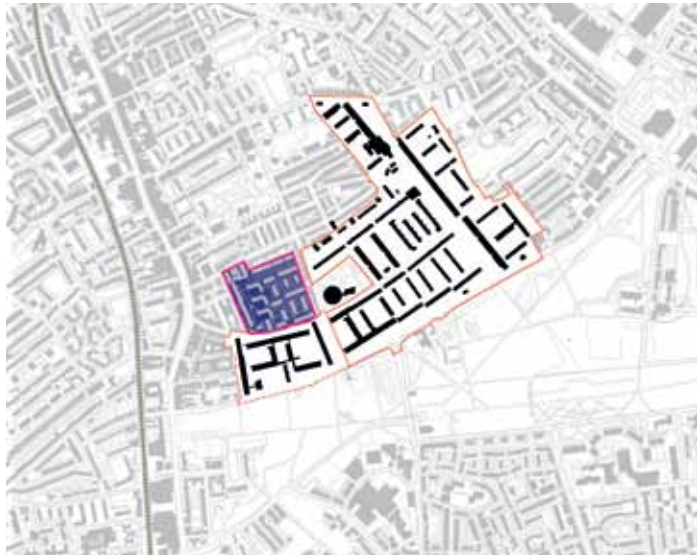
ISSUES	CHARACTER
Setting	Formally arranged long solid red-brick buildings, generally well maintained. Buildings are accessed from shared surfaces with car park.
Topography	Flat area.
Historic grain and Heritage	The urban layout is characteristic of the early social housing plans of the beginning of the 20th century, which opened spaces between blocks in contrast with the traditional Victorian / Georgian streets that lacked open spaces. However, this Estate does not have many green spaces. Instead, it has surface car parking areas near the entrances, and only a few green spaces on Kingslake Street.
Urban layout and architecture	Stand alone buildings, framing open spaces used as car park, or facing the street.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Some young and mature trees, including some on Surrey Square Park.
Public Realm and Open Spaces	Near the entrances to the buildings the public realm appears empty, dry and uninviting, dominated by car parking and rubbish bins. By contrast, Surrey Square Park is a good quality open space, with playgrounds, mature trees and vegetation.

Table 6.15 Baseline Character

Key plan and photographs of the area

AREA 16: Elizabeth Estate

- 6.104 Appearing suburban, Elizabeth Estate is an area of 2 to 3 storey blocks of maisonettes and flats, clad in red brick dating probably from the 1970 / 1980's. The blocks are arranged in continuous parallel rows or 'L' shaped plans. Chimneys, pitched roofs and small balconies are well expressed in the facades. A landscaped setting provides a green background to the buildings.
- 6.105 This area's sensitivity to change is low, as there is no major value in the overall townscape character.



Impact assessment

ISSUES	CHARACTER
Setting	The area appears suburban, airy and spacious. Brick buildings with pitched roofs dispersed in a well kept lawn area.
Topography	Flat area.
Historic grain and Heritage	The layout is characteristic of a modern approach to urban planning, with parallel buildings dispersed in the open space, set back from the streets. There are no listed buildings.
Urban layout and architectural qualities	Although well maintained and set within a good landscaped environment, the architecture appears uninteresting. Buildings are characteristic of a generic economic type used for public housing in the 1960/ 1970's.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	Several mature trees and large lawn areas complete the green setting of the area.
Public Realm and Open Spaces	There is plenty of green open space between the blocks, but it is not accessible and partially framed by circa 0.5 metre brick wall. There are some car parking areas.

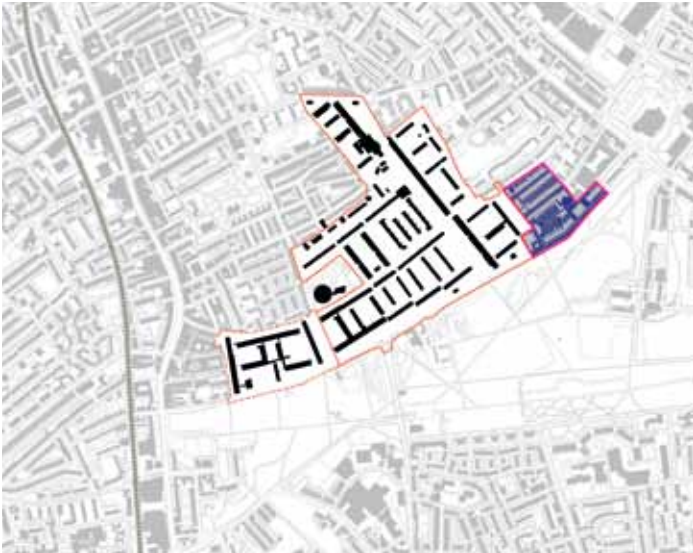
Table 6.16 Baseline Character

- 6.106 FDS: The FDS has an edge on Westmoreland Street to this character area. The proposals include two blocks of 3 storey townhouses, and a 5 and 6 storeys block of flats on Westmoreland Road. These changes will be very visible and the proposals will improve the general setting of the area. Hence the changes will be of moderate magnitude, minor overall impact and moderate beneficial significance.
- 6.107 Site Wide Development: The biggest impact on Elizabeth Estate will be the FDS, but other parts of the masterplan will also be visible from the area, for example the School Square on Portland Street and new townhouses on Inville Road. This will have a moderate magnitude, minor overall impact and moderate beneficial significance on the character area.
- 6.108 FDS + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the FDS alone. The changes are considered of moderate magnitude, minor overall impact and moderate beneficial significance.
- 6.109 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the site wide development alone. The changes are considered of moderate magnitude, minor overall impact and moderate beneficial significance.

AREA 17: Bagshot Area

- 6.110 This low-density area consists of 2 to 3 storey Early-Victorian terraced houses, lacking in detail and with a mix of finishes including yellow, brown and red London stock mix and white and beige render.
- 6.111 Some streets are one-way, with narrow pavements and there is on-street parking, sometimes on both sides. They are human in scale, well-proportioned and generally form a good urban environment. On Bagshot Street there are a few local shops, and the area has a low sensitivity to change.
- 6.112 This area’s sensitivity to change is low, as there is no major value in the overall townscape character. and there is a variety of building styles.

Key plan and photographs of the area



Impact assessment

- 6.113 FDS: The FDS is not visible from Bagshot area, therefore the character of this area will remain the same after completion of the proposals. Therefore magnitude, overall impact and significance of the changes are negligible.
- 6.114 Site Wide Development: The south east part of the Aylesbury Estate meets this character area on Bagshot Street. Proposals for this area include an open space and residential development of town houses and blocks of flats of 4 to 6 storeys continuing Smyrk’s and Mina Road. The taller buildings on the Park edge will also be seen in the background from Albany Road. The low and mid-density blocks and the new open space will be beneficial to the area, as some of the good characteristics of the area will have continuity. The tall buildings in the background will change the long views in the area. Overall the changes will be very visible, therefore of major magnitude and minor to moderate overall impact. They will be moderately beneficial from a significance perspective.
- 6.115 FDS + Cumulative effects: Other proposed schemes will not impact this area. The changes are considered negligible in terms of magnitude, overall impact and significance.
- 6.116 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the site wide development alone. The changes are considered of major magnitude, minor to moderate overall impact and moderate beneficial significance.

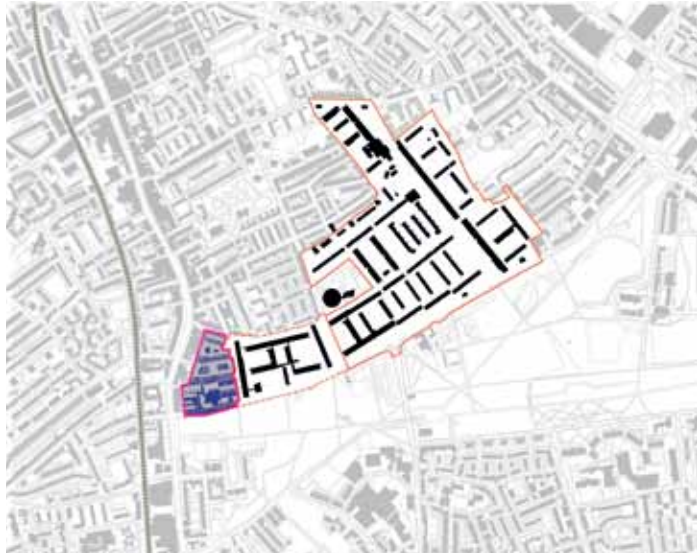
ISSUES	CHARACTER
Setting	Contained and consolidated urban area, low-rise brick buildings and well-framed narrow streets.
Topography	Flat area.
Historic grain and Heritage	The layout derives from the historic plan, with small blocks and narrow plots. There are no listed buildings.
Urban layout and architectural qualities	Narrow, traditional terraced houses. Dwellings are 2 to 3 storey brick built terraces and low-rise flats.
Land uses	Residential and retail.
Water	Not applicable.
Trees and other vegetation	The streets have sometimes hints of green from hedges on private front gardens. There are no trees along the streets.
Public Realm and Open Spaces	The streets are narrow, but well-proportioned and the public realm is generally good. On Bagshot Street, local shops activate the street frontage.

Table 6.17 Baseline Character

AREA 18: Albany Place

- 6.117 This is a new area, which was the first phase of the Aylesbury Regeneration. It consists of 3 storey terraced houses and maisonettes, and 10 storey blocks of flats facing Burgess Park. All buildings are clad in yellow and brown London stock.
- 6.118 Facing Burgess Park, blocks appear less solid and with wide openings. There are mews and well-proportioned low-rise terraced houses, with front doors on to the streets. Good detailing, projected balconies and varied massing create a distinct and visually appealing setting.
- 6.119 This area’s sensitivity to change is medium, as there is a consistent and coherent townscape character.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Newly created local streets and mews form narrow perimeter blocks. Clad in yellow and brown brick, buildings appear well-proportioned, more solid to the north and with more openings facing Burgess Park.
Topography	Flat area.
Historic grain and Heritage	The street pattern follows the previously existing streets.
Urban layout and architecture	There is a mix of types, including a narrow terraced houses block and perimeter blocks with mansion blocks and flats.
Land uses	Residential and Community (Southwark Resource Centre).
Water	Not applicable.
Trees and other vegetation	There are some young trees on the new streets.
Public Realm and Open Spaces	Good quality environment, with various street scales and a small public open space.

Table 6.18 Baseline Character

- 6.120FDS: The FDS is adjacent to this area along Bradenham Close, which is part of the Aylesbury Estate. Proposals for this area include residential blocks ranging from 5 to 10 storeys. The change in the area will be highly noticeable, thus major in magnitude and considered moderate to major overall impact. The significance will be major beneficial as the new proposals continue the architectural language and features of the area.
- 6.121 Site Wide Development: Apart from the FDS, the proposals for the masterplan will not be visible from Albany Place. Therefore the magnitude, overall significance and significance of the changes to the area after completion of the re-development are the same as on the FDS alone. They are considered of major magnitude, moderate to major overall impact and major beneficial significance.
- 6.122FDS + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the FDS alone. The changes are considered of major magnitude, moderate to major overall impact and major beneficial significance.
- 6.123 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the FDS or the site wide development alone. The changes are considered of major magnitude, moderate to major overall impact and major beneficial significance.

AREA 19: Coburg Road Conservation Area

- 6.124 This Conservation Area is characterised by narrow streets with terraced or semi-detached Georgian and Victorian houses. There are some Grade II listed, and some trees which create a good green background to the dominant material old brown London stock. The Georgian buildings have long privacy front gardens and generally appear very solid and well-proportioned. The Victorian terraces on Oakley Place are more ornamented, clad in light yellow brick with bay windows on ground and first floors.
- 6.125 This area’s sensitivity to change is High, because it is a Conservation Area, a highly valued townscape setting.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Terraced and semi-detached houses mixed with green from Burgess Park
Topography	Flat area.
Historic grain and Heritage	The layout derives from the historic layout in the area before the demolition that opened the land for the creation of Burgess Park. There are many Grade II listed buildings, including the New Peckham Mosque (former Church of St. Mark), and house on Cobourg Road and Coburg Road, and the Lord Nelson Pub.
Urban layout and architectural qualities	The layout derives from the historic plan, with small blocks and narrow plots. Dwellings are 2 to 3 storey brick terraces.
Land uses	Residential.
Water	Cobourg Road houses face the lake.
Trees and other vegetation	There are plenty of mature trees in the area, and green is a constant presence in the background as there are many views to the Park.
Public Realm and Open Spaces	The streets are narrow and well-proportioned. The public realm is good, well-kept and a pleasant walking environment full of green areas and views of the lake.

Table 6.19 Baseline Character

- 6.126 FDS: The FDS is separated from the area by Burgess Park. This alteration to the park edge will be visible in the background as shown on View 5. The impact of the change is considered of minor magnitude and minor to moderate overall impact. The significance of this change, will be minor beneficial, as it will appear more built but with more suitable materials, instead of the current situation of monotonous concrete architecture.
- 6.127 Site Wide Development: The south eastern part of the re-development of the whole Aylesbury Estate will be slightly visible from the edge of Coburg Road Conservation Area across the Park, between trees particularly during fall and winter. The impact of the change is considered of minor magnitude and minor to moderate overall impact. The significance of the change in background will be minor beneficial, as it will appear more built but with more suitable materials – bricks, and more varied, instead of the current situation of monotonous concrete architecture. Proposals will not deteriorate the integrity and intrinsic historic characteristics of this Conservation Area.
- 6.128 FDS + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the FDS alone. The cumulative changes are considered of minor magnitude, minor to moderate overall impact and minor beneficial significance.
- 6.129 Site Wide + Cumulative effects: Other proposed schemes will not impact this area. Hence, the impact of changes is cumulatively the same as on the site wide development alone. The cumulative changes are considered of minor magnitude, minor to moderate overall impact and minor beneficial significance.

AREA 20: Burgess Park

- 6.130 Burgess Park is a large open space in South London. It is very open, with a beautiful lawn, allowing for long views. It is a relatively young park in London, created with the demolition of a consolidated area of the city, as shown in the historic maps. For this reason, most trees are young, except those which were retained from the old streets.
- 6.131 The Park has got a few hills, which sometimes block views to the city, plus a lake with a pedestrian bridge.
- 6.132 Wells Way cuts through the park, establishing a connection from the South. Some Grade II listed buildings are located within the Park, adding to its picturesque visual character.
- 6.133 This area’s sensitivity to change is high, because it is a major South London Park.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	High-quality landscaped open space, with lawn and young trees. Includes some play facilities and a park cafe.
Topography	Large flat areas and small hills.
Historic grain and Heritage	Some of the old streets have been kept in place and some traces of these still define the park paths. Grade II listed buildings contribute to the park character, such as the Groundwork Trust Offices (former public baths and library), the Almshouses, the former church of St. George and the Lime Kiln.
Urban layout and architecture	The listed buildings are either brick, Victorian, or white neoclassical style. The former baths has a tall chimney and the church has a clock tower. Both act as landmarks.
Land uses	Public open space, and a park cafe.
Water	Lake within the Park.
Trees and other vegetation	Mostly young trees, with exception of those retained from the previous streets.
Public Realm and Open Spaces	Burgess Park is the largest open space in the area, contributing to an increased perception of the quality of public realm in Walworth

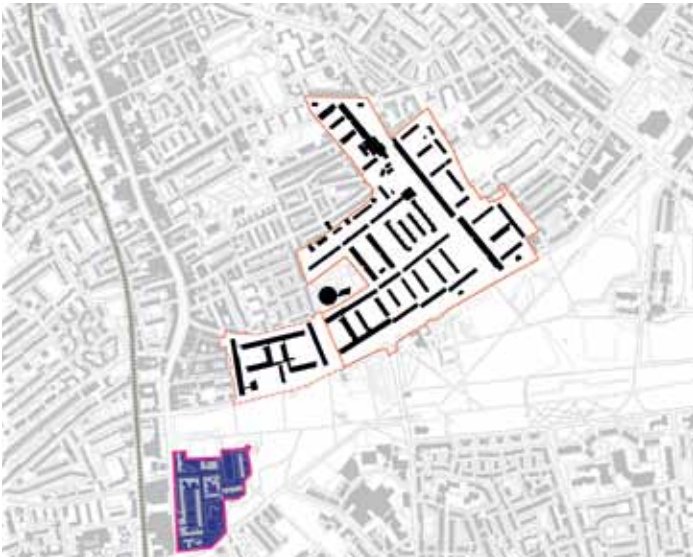
Table 6.20 Baseline Character

- 6.134 FDS: The FDS faces Burgess Park. Proposals including tall buildings on Albany Road will be very visible from the west side of the Park. The changes are considered to have a major impact on the Park due to its major magnitude. Its significance will be moderately beneficial, as it will appear more built but with more variety of forms and slender shapes instead of the current situation of continuous repetitive buildings.
- 6.135 Site Wide Development: The re-development of the whole of the Aylesbury Estate will be very visible from Burgess Park. The magnitude of the change is major and the overall impact is major as there is a complete transformation of the park edge. The significance of the change will be major beneficial, as it will appear more built but with more variety of forms, better materials and slender shapes instead of the current situation of continuous repetitive buildings.
- 6.136 FDS + Cumulative effects: The proposed scheme Elmington will be partially visible from the Park but not in conjunction with the Aylesbury Proposals. The magnitude of change will cumulatively be of major magnitude and major overall impact, and moderately beneficial. Other proposed schemes will not impact this area.
- 6.137 Site Wide + Cumulative effects: The proposed scheme Elmington will be partially visible from the Park but not in conjunction with the Aylesbury Proposals. The magnitude of change will cumulatively be of major magnitude and major overall impact, and major beneficial significance. Other proposed schemes will not impact this area.

AREA 21: Addington Square Conservation Area

- 6.138 This Conservation Area dates from mid to late 19th century. Narrow streets fronted by terraced houses are mixed with views across to Burgess Park.
- 6.139 Building heights in the area are generally uniform, consisting of typical 3 storey terraces with canted ground floor bay windows, traditional Victorian detailing and small frontdoors with arched profiles.
- 6.140 This area’s sensitivity to change is high, because it is a Conservation Area, a highly valued townscape setting.

Key plan and photographs of the area



Impact assessment

ISSUES	CHARACTER
Setting	Contained and consolidated urban area, close to Burgess Park, with 2 to 3 storey terraced houses.
Topography	Flat area.
Historic grain and Heritage	The layout derives from the historic layout in the area before the demolition that opened the land for the creation of Burgess Park. There are many Grade II listed buildings, including houses on Camberwell Road and on both sides of Addington Square.
Urban layout and architectural qualities	The layout derives from the historic plan, with small blocks and narrow plots. Dwellings are 2 to 3 storey brick terraces.
Land uses	Residential.
Water	Not applicable.
Trees and other vegetation	There are many mature trees in the area, probably remaining from the historic development.
Public Realm and Open Spaces	The streets are narrow, but well-proportioned and the public realm is generally good, well-kept and a pleasant walking environment. Views to Burgess Park or hints of green are intertwined with the buildings and frequently constitute the end of a street.

Table 6.21 Baseline Character

- 6.141 FDS: The FDS is separated from the area by Burgess Park. Proposals including tall buildings on the park edge will be visible in the background between trees, particularly during fall and winter. The changes are considered to have a moderate to major overall impact on the Park due to its moderate magnitude. Its significance in the background of the Conservation Area will be minor beneficial, as it will appear more built but with more suitable materials – bricks, and more varied, instead of the current situation of monotonous concrete architecture. Proposals will not deteriorate the integrity and intrinsic historic characteristics of the area.
- 6.142 Site Wide Development: The re-development will be visible from the edge of Addington Square Conservation Area across the Park, between trees, particularly during fall and winter. The changes are considered to have a moderate to major overall impact on the Park due to its moderate magnitude. The significance of the change in background will be minor beneficial, as it will appear more built but with more suitable materials – bricks, and more varied than the current situation. Proposals will not deteriorate the integrity and intrinsic historic characteristics of the area.

- 6.143 FDS + Cumulative effects: The Elmington scheme will partially appear in the background, in the south east corner of the area, but without negative impacts. Other proposed schemes will not impact this area. The cumulative changes are considered of moderate magnitude, moderate to major overall impact and minor beneficial significance.
- 6.144 Site Wide + Cumulative effects: The Elmington scheme will partially appear in the background, in the south east corner of the area, but without negative impacts. Other proposed schemes will not impact this area. The cumulative changes are considered of moderate magnitude, moderate to major overall impact and minor beneficial significance.

CONCLUSION

FDS:

- 6.145 The proposed FDS will have an impact on the appearance of 7 of the character areas identified in the immediacy. In all other 14 areas appraised, both magnitude and significance of the changes are negligible.
- 6.146 The **highest magnitude** of change will be on the edge of Burgess Edge and on Albany Place. There will be a noticeable alteration corresponding to a **medium magnitude** of change in the Liverpool Grove and Addington Square Conservation Areas as well as in the Elizabeth Estate. In addition, there will be a slight alteration to the townscape characteristics in Walworth Road character area and Coburg Road Conservation Area, corresponding to a **low magnitude**.
- 6.147 The proposed changes will all have a positive impact on the townscape of the seven adjacent areas. Albany Place will experience a **major benefit** from the FDS, as there will be total continuity of the architectural and urban language.
- 6.148 The other contiguous areas, Liverpool Grove Conservation Area, Walworth Road (particularly Westmoreland Road shops), Elizabeth Estate and Burgess Park will **moderately benefit** from the development, as there will be improvements on the adjacent setting and on the local streets. The new buildings, clad in brick and with various forms, will blend in better with the existing buildings in the area and appear more interesting and proportioned than the existing monotonous buildings on the site.
- 6.149 Addington Square Conservation Area and Coburg Road Conservation Area will experience a **minor benefit** as the setting in the background will improve in the long views, particularly during fall and winter seasons when some trees are leafless in Burgess Park.

- 6.150 Although the proposal will increase density on the site, the overall conclusion is that the FDS will be beneficial to the adjacent areas, particularly when compared with the existing situation. This is because the proposals adopt materials which are more in continuity with the existing context (i.e. brick), use greater variety of built forms (i.e. various housing typologies including terraced houses), and continue features of the nearby areas (i.e. mono-pitched roofs near Liverpool Grove Conservation Area). Furthermore, in long views such as those from the Park or from Addington Square, the FDS proposals will create a more interesting skyline profile which will enhance and possibly add to the visual qualities of the existing areas.

Site Wide Development:

- 6.151 The complete redevelopment of the Aylesbury Estate will have a visual impact on 14 of the 21 character areas considered. In all other 7 areas appraised, both magnitude and significance of the changes are negligible.
- 6.152 The **highest magnitude** of change will be on the edge of Burgess Park, Albany Place, Liverpool Grove Conservation Area, Bagshot Area and Victorian East Street. There will be a noticeable alteration corresponding to a **medium magnitude** of change on the east side of the site, including Surrey Square Park, North of Surrey Square and Alvey and Congreve Estates, as well as on Kingston Estate, Elizabeth Estate and Addington Square Conservation Area. In addition, there will be a slight alteration to the visual characteristics on the Walworth Road character area, Elsted Street area and the Coburg Road Conservation Area, corresponding to a change of **low magnitude**.
- 6.153 With regard to significance, Victorian East Street, Albany Place, Burgess Park and Liverpool Grove Conservation Area will experience great improvements in the overall setting, views and adjacent streets, and some of their special character features will continue through the new development. Hence, for these areas the proposed changes will be **major beneficial**.
- 6.154 The areas where the impact of proposed changes will be **moderately beneficial** to the existing visual qualities are Walworth Road (on Westmoreland Road), Elizabeth Estate, Surrey Square Park, North of Surrey Square, Bagshot Area, Kingston Estate and the Alvey and Congreve Estates. These areas will generally benefit from new open spaces proposed in the immediacy, and greater continuity of streets and typologies, as well as longer views instead of the currently blocked perspectives by the existing long blocks.
- 6.155 **Minor benefits** will be experienced in the Coburg Road and Addington Square Conservation Areas across from Burgess Park, as the new development will create a better background in the distance, particularly due to the use of brickwork compared with the dominant concrete in the current situation. A minor benefit will be experienced in the Elsted Street area as well due to an upgraded background and public realm edge.
- 6.156 Overall, it can be concluded that all character areas where the development will have a visual impact will experience positive changes. In some of these, the benefits will be quite significant. This result is mostly due to the variety of forms and proportions of the new development which will enhance the visual quality of the background to existing context compared with the current situation. The choice of brick as key material is equally more consistent with the surroundings than the current architectural expression. Some well-framed new public open spaces will also be a noticed improvement to surrounding areas. Furthermore, the proposed streets and building typologies will restore some of the urban and visual qualities of the historic layout which preceded the current site arrangement, still found in adjacent areas such as the Conservation Areas and, to a lesser degree, in the Bagshot and North of Surrey Park areas.

SUMMARY OT TOWNSCAPE EFFECTS

FDS Only Development Option

TOWNSCAPE CHARACTER AREA	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY OF RECEPTOR	MAGNITUDE OF CHANGE	OVERALL IMPACT	SIGNIFICANCE OF EFFECTS
01. Walworth Road	Upgraded edge on Westmoreland Road near local shops	Low	Low	Negligible to Minor	Moderate beneficial
02. Larcom Street Conservation Area	No visible effect	High	Negligible	Negligible	Negligible
03. Browning Estate	No visible effect	Medium	Negligible	Negligible	Negligible
04. Nursery Park Row	No visible effect	Medium	Negligible	Negligible	Negligible
05. Rodney Estate	No visible effect	Medium	Negligible	Negligible	Negligible
06. Victorian East Street	No visible effect	Medium	Negligible	Negligible	Negligible
07. Elsted Street Area	No visible effect	Low	Negligible	Negligible	Negligible
08. Alvey and Congreve Estates	No visible effect	Medium	Negligible	Negligible	Negligible
09. Old Kent Road	No visible effect	Low	Negligible	Negligible	Negligible
10. Nelson Estate	No visible effect	Low	Negligible	Negligible	Negligible
11. Kingston Estate	No visible effect	Low	Negligible	Negligible	Negligible
12. Portland Estate	No visible effect	Low	Negligible	Negligible	Negligible
13. North of Surrey Square	No visible effect	Medium	Negligible	Negligible	Negligible
14. Liverpool Grove Conservation Area	Westmoreland Road and Portland Street new buildings and new edge / new public realm	High	Medium	Moderate to Major	Moderate beneficial
15. Surrey Square Park	No visible effect	Medium	Negligible	Negligible	Negligible
16. Elizabeth Estate	Westmoreland Road new buildings and new edge / new public realm	Low	Medium	Minor	Moderate beneficial
17. Bagshot Area	No visible effect	Low	Negligible	Negligible	Negligible
18. Albany Place	New adjacent buildings and upgrade of Bradenham Close and Albany Road	Medium	High	Moderate to Major	Major beneficial
19. Coburg Road Conservation Area	Partial views across the Park	High	Low	Minor to Moderate	Minor beneficial
20. Burgess Park	New Park Edge	High	High	Major	Moderate beneficial
21. Addington Square Conservation Area	Partial views across the Park	High	Medium	Moderate to Major	Minor beneficial

Table 6.22 Summary of effects

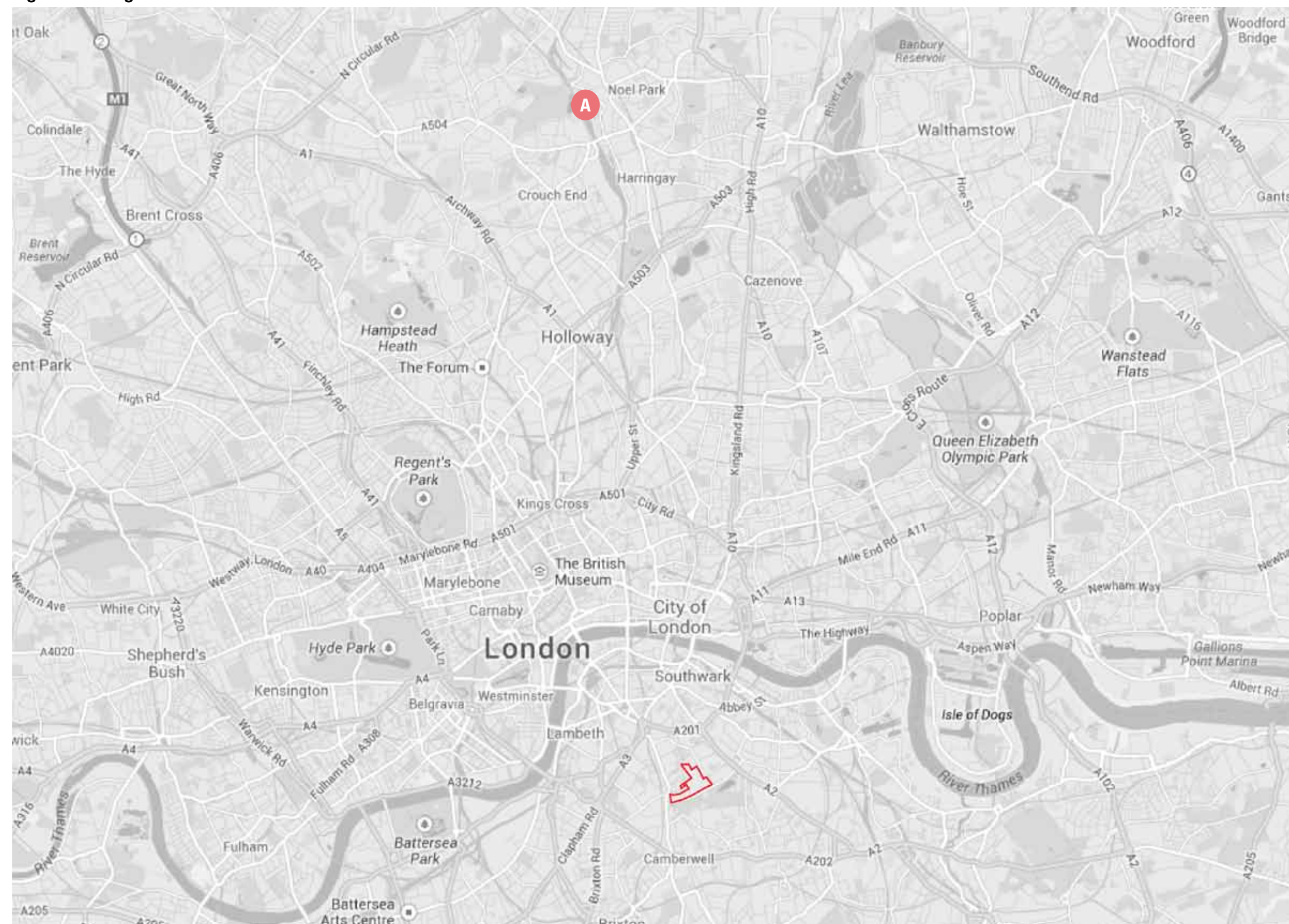
Site Wide Development

TOWNSCAPE CHARACTER AREA	DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY OF RECEPTOR	MAGNITUDE OF CHANGE	OVERALL IMPACT	SIGNIFICANCE OF EFFECTS
01. Walworth Road	Upgraded edge on Westmoreland Road near local shops	Low	Low	Negligible to Minor	Moderate beneficial
02. Larcom Street Conservation Area	No visible effect	High	Negligible	Negligible	Negligible
03. Browning Estate	No visible effect	Medium	Negligible	Negligible	Negligible
04. Nursery Park Row	No visible effect	Medium	Negligible	Negligible	Negligible
05. Rodney Estate	No visible effect	Medium	Negligible	Negligible	Negligible
06. Victorian East Street	East Street new terraces on the southern side and new public realm	Medium	High	Moderate to Major	Major beneficial
07. Elsted Street Area	Upgraded East Street and appearance of new buildings in the background	Low	Low	Negligible	Minor beneficial
08. Alvey and Congreve Estates	Upgraded public realm on Sedan Way	Medium	Medium	Moderate	Moderate beneficial
09. Old Kent Road	No visible effect	Low	Negligible	Negligible	Negligible
10. Nelson Estate	No visible effect	Low	Negligible	Negligible	Negligible
11. Kingston Estate	Upgraded edge and new buildings on Dawes Street and Dawes Park	Low	Medium	Minor	Moderate beneficial
12. Portland Estate	No visible effect	Low	Negligible	Negligible	Negligible
13. North of Surrey Square	Improved Alvey Street edge and views from Surrey Square	Medium	Medium	Moderate	Moderate beneficial
14. Liverpool Grove Conservation Area	Westmoreland Road, Portland Street, Dawes Street and Merrow Street new buildings and new edges / new public realm	High	High	Major	Major beneficial
15. Surrey Square Park	Park edge and views from local streets	Medium	Medium	Moderate	Moderate beneficial
16. Elizabeth Estate	Westmoreland Road new buildings and new edge / new public realm, and School Square	Low	Medium	Minor	Moderate beneficial
17. Bagshot Area	Continuation of local streets, new buildings and new public realm on Bagshot Street	Low	High	Minor to Moderate	Moderate beneficial
18. Albany Place	New adjacent buildings and upgrade of Bradenham Close and Albany Road	Medium	High	Moderate to Major	Major beneficial
19. Coburg Road Conservation Area	Partial views across the Park	High	Low	Minor to Moderate	Minor beneficial
20. Burgess Park	New Park Edge	High	High	Major	Major beneficial
21. Addington Square Conservation Area	Partial views across the Park	High	Medium	Moderate to Major	Minor beneficial

Table 6.23 Summary of effects

7.0 BASELINE AND ASSESSMENTS OF EFFECTS: VISUAL

Figure 7.1 Long Distance Views Plan



LONG DISTANCE VIEWS

View A
LVMF 1A.1 Alexandra Palace

MEDIUM DISTANCE VIEWS

View 01
Flint Street just north of East Street looking southeast along Thurlow Street

View 02
Surrey Square to the west of the junction with Flinton Street looking southwest

View 03
Smyk's Road, looking southwest

View 04
Eastern end of Albany Road, looking southwest

View 05
Cobourg Road looking west over the lake in Burgess Park

View 06
Not used

View 07
Southern end of the bridge across the lake in Burgess Park looking west

View 08
Top of mound in centre of Burgess Park, looking northwest towards Thurlow Street

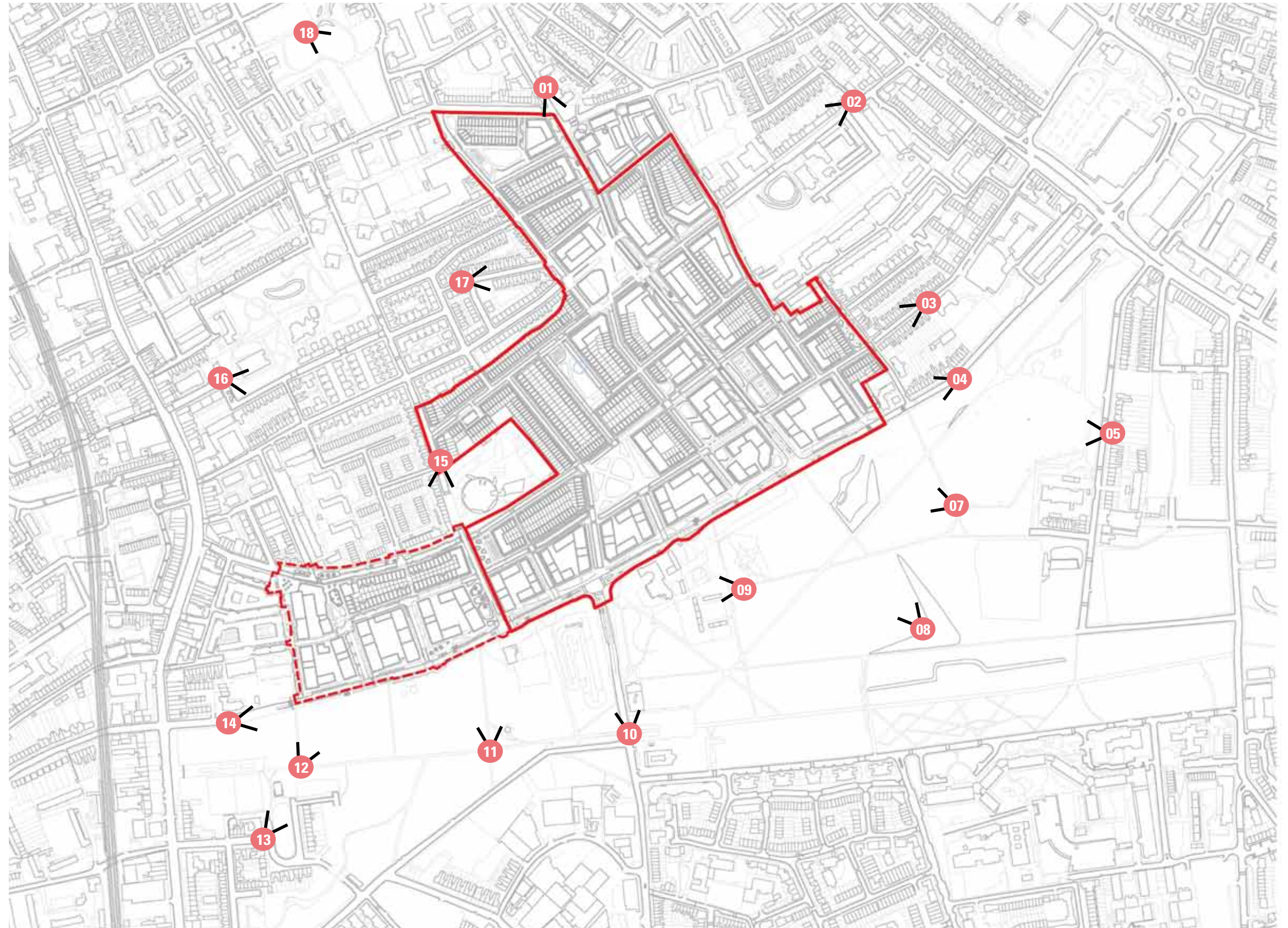
View 09
East of the north wing of Grade II Listed Almshouses, looking west

View 10
Wells Way looking north

View 11
Junction of paths to the southwest of the lime kiln in Burgess Park, looking north towards Portland Street

Figure 7.2 Medium Distance Views Plan

- View 12**
Junction of paths in Burgess Park looking northeast towards the First Development Site
- View 13**
Western edge of Addington Square looking northeast towards the First Development Site
- View 14**
Western end of Albany Road looking east
- View 15**
Portland Street at northern end of Michael Faraday School looking south
- View 16**
Liverpool Grove in front of church, looking east
- View 17**
Corner of Aylesbury Road and Brettell Street looking east
- View 18**
Junction of paths within Nursery Row Park, looking south east



VIEW A - EXISTING
LVMF 1A.1 Alexandra Palace



LVMF 1A.1 LEFT: Existing

LVMF 1A.1 CENTRE: Existing

Description of Existing View:

- 7.1 The view is one of six view panoramas identified in the London View Management Framework SPG. The view is from the viewing terrace at Alexandra Palace and provides a panoramic view to the south. Alexandra Palace is set in 196 acres of parkland on the rising ground of Muswell Hill in North London. The view is identified as Assessment Point 1A.1 within the SPG as it is the best position to see the wider panorama.
- 7.2 Landmarks in the view include: St Paul's Cathedral, The London Eye, BT Tower and the The Shard. The view also include: Caledonian Market Clock Tower, Canary Wharf, Broadgate Tower, City cluster of tall buildings, London Bridge cluster of tall buildings, St Pancras Station, and Euston Tower.
- 7.3 The SPG identifies the view as follows:
"The trees in Alexandra Park, which slope into the valley below, dominate the foreground of the view. Views of the panorama are limited, in some places, to glimpses through these trees."

The middle ground rises from the park to a ridge running east west across the panorama. This part of the view has a broadly residential character dominated by red brick terrace houses, pitched roofs and mature vegetation interspersed by church spires and public buildings.

The wide background of the panorama includes a number of focal points. These include a cluster of taller buildings in the City of London, incorporating St Paul's Cathedral, Euston Tower, BT Tower, Centre Point and the Shard. From some positions, a second cluster of tall buildings at the Docklands is visible, beyond an open middle ground. The peristyle, dome and lantern of St Paul's Cathedral are particularly visible from the eastern entry to the terrace, owing to a dip in the east west ridgeline."

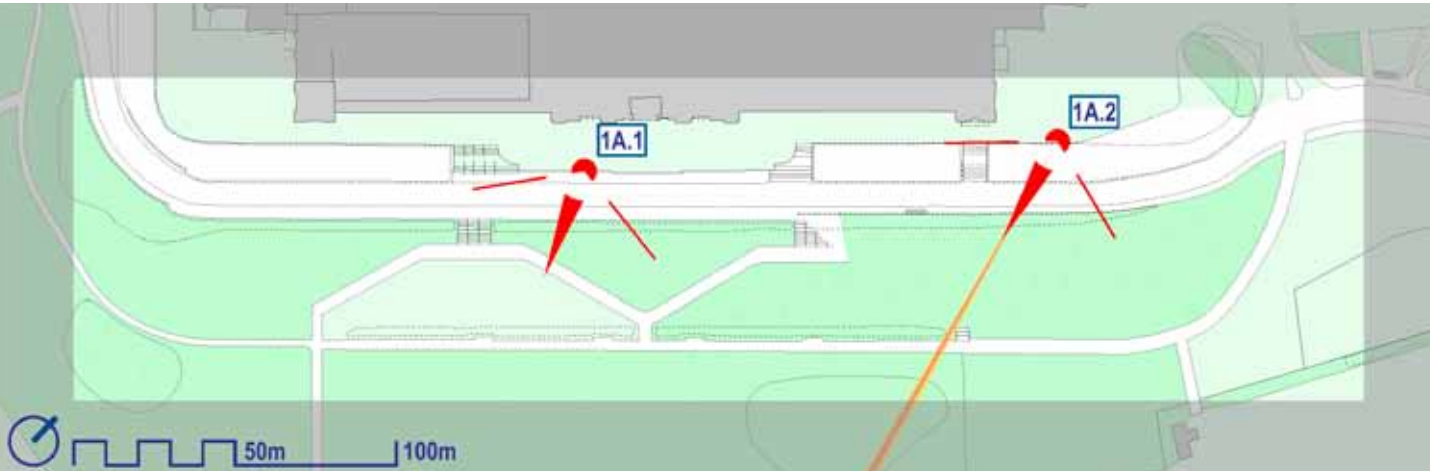
View and Photography Details



Date:	03/08/2014
Time:	16:45:00
Weather:	Clear
Height above ground level:	94.11m AOD
OS grid coordinates:	529611.2E 189963.7N.
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	44.9
Location of viewpoint:	View from Assessment Point 1A.1 Alexandra Palace: the viewing terrace – south-western section (South-western area of terrace). Aiming at Swiss Re (Apex of tower). Bearing 157.0°, distance 9.5km. (Ref. LVMF SPG)



LVMF 1A.1 RIGHT: Existing



LOCATION OF 1A.1 FROM LVMF SPG

VIEW A - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.4 The proposed development built to minimum parameters is to the right of the centre of the view from Alexandra Palace.
- 7.5 Only one or two buildings of the proposed development can be seen as most of the development is screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London. Where it can be seen, the development is a lower scale and is visually nestled in with the existing cluster of tall buildings in the City and South London.
- 7.6 The view is a *Partial View*. The development will have a negligible visual impact on the existing view as the Alexandra Palace receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible as the new buildings will be barely perceptible to the naked eye.



LVMF 1A.1 CENTRE: Proposed (Min..)

VIEW A - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.7 The proposed development built to maximum parameters is to the right of the centre of the view from Alexandra Palace.
- 7.8 A couple more buildings may be seen than the minimum parameter, but the majority are still screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London. Where it can be seen, the maximum parameter development is also a lower scale and is visually nestled in with the existing cluster of tall buildings in the City and South London.
- 7.9 The view is a *Partial View*. The development will have a negligible visual impact on the existing view as the Alexandra Palace receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible as the new buildings will be barely perceptible to the naked eye.



LVMF 1A.1 CENTRE: Proposed (Max)

VIEW A - SITE WIDE PROPOSED MAX PARAMETERS AND CUMULATIVES

Description of Proposed View:

- 7.10 The cumulative schemes (white) can be seen to the right of the centre of the view from Alexandra Palace.
- 7.11 The cumulative schemes are taller than the proposed development and will increase the number of buildings that can be seen near the Strata building at Elephant and Castle. These buildings and the City cluster draw the eye away from the proposed development.
- 7.12 The view is a *Partial View*. The development will have a negligible visual impact on the existing view as the Alexandra Palace receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible as the new buildings will be barely perceptible to the naked eye.



LVMF 1A.1 CENTRE: Proposed (Max and Cumulatives)

VIEW A - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.13 The proposed First Development Site is to the right of the centre of the view from Alexandra Palace.
- 7.14 The view is a *No View* as the proposed buildings are screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London. The development will have a negligible visual impact on the existing view as the Alexandra Palace receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible as the new buildings will be barely perceptible to the naked eye.



LVMF 1A.1 CENTRE: Proposed (FDS)

VIEW A - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

- 7.15 The cumulative schemes can be seen to the right of the centre of the view from Alexandra Palace.
- 7.16 As the FDS cannot be seen in the view, the inclusion of the cumulative schemes will not effect the impact of the development.
- 7.17 The view is a *Partial View*. The development will have a negligible visual impact on the existing view as the Alexandra Palace receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible as the new buildings will be barely perceptible to the naked eye.



LVMF 1A.1 CENTRE: Proposed (FDS and Cumulatives)

VIEW 01 - EXISTING
Flint Street, north of East Street looking southeast down Thurlow Street



VIEW 01: Existing

Description of Existing View:

- 7.18 Taken to the north of the existing East Street shops on the corner of East Street and Thurlow Street, the view follows the alignment of Thurlow Street.
- 7.19 On the left is the small public square to the south of the shops. The hoarding to the future Albany development (Site 7 of the Aylesbury Estate), currently under construction, can be seen to the south of the square, with the 10 storey Wendover Building in the distance.
- 7.20 On the right side of Thurlow Street, a three storey brick building and existing Plane trees dominate the corner with East Street. The 15 storey Taplow Building behind the brick building creates a continuous backdrop. The CHP chimney near Inville Street is located centrally in the view, on the right side of Thurlow Street.
- 7.21 Thurlow Street is a busy access road with bus routes, providing the main vehicular link through the Estate to Albany Road. The Plane trees on Thurlow Street, particularly on

the right side of this view, soften the impact of the built form on the street. This, however, is naturally reduced during the winter months.

View and Photography Details



Date:	03/08/2014
Time:	08:49:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532914.993 / N:178487.95
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 01 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.22 The proposed development built to minimum parameters can be seen across the whole view from Flint Street. The proposed buildings are partially screened by the existing trees on Flint Street and Thurlow Street.
- 7.23 The view looks towards the heart of the masterplan as Thurlow Street is the main north-south route through the site. At minimum parameters, the proposed buildings are shorter than the existing Wendover and Taplow blocks and fit comfortably within their silhouette. The impact of the proposed buildings is reduced by the screening by the existing trees. In winter when the trees are not in leaf there would be glimpsed views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.24 The view is a *Full, Open View*. The development will have a minor visual impact on the existing view as the Thurlow Street receptors have a low sensitivity although the magnitude of change will be moderate. The significance of the effect will be major beneficial as the arrangement of the new buildings will create a coherent yet varied built form which will be a marked improvement on the streetscape.
- 7.25 The lower heights and use of brick as the predominant material in the proposed buildings will improve the settings of the listed buildings to the north of this viewpoint: English Martyrs School, Roman Catholic Church of the English Martyrs and Presbytery to Roman Catholic Church of the English Martyrs.

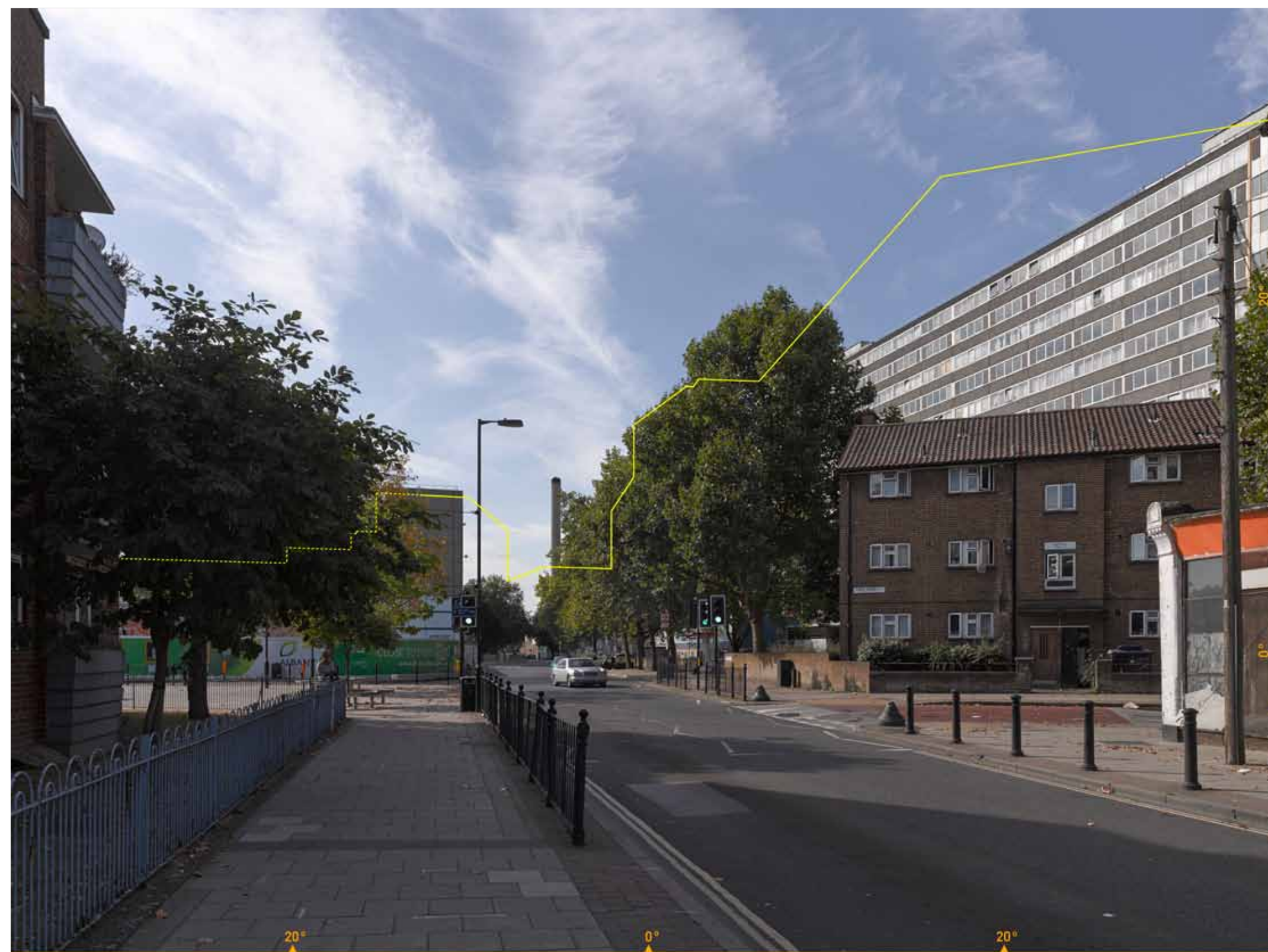


Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (Min..)

VIEW 01 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.26 The proposed development built to maximum parameters can be seen across the whole view from Flint Street. The proposed buildings are partially screened by the existing trees on Flint Street and Thurlow Street.
- 7.27 At maximum parameters, the proposed buildings are shorter than the existing Wewndover and Taplow buildings but appear taller because they are situated closer to Thurlow Street and are more in the foreground of the view. The visual impact of the proposed buildings is reduced by the screening by the existing trees. In winter when the trees are not in leaf there would be glimpsed views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.28 The view is a *Full, Open View*. The development will have a minor to moderate visual impact on the existing view as the Thurlow Street receptors have a low sensitivity although the magnitude of change will be major as the proposed massing of new buildings will be readily noticeable but will not change the overall perception of the view. The significance of the effect will be moderate beneficial as the arrangement of the new buildings will create a coherent yet varied built form which will be a noticeable improvement on the streetscape.
- 7.29 The proposed buildings will improve the settings of the listed buildings to the north of this viewpoint (English Martyrs School, Roman Catholic Church of the English Martyrs and Presbytery to Roman Catholic Church of the English Martyrs) as the proposed building typologies and materials will be more consistent with the surrounding townscape character than the existing Estate buildings.



Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (Max)

VIEW 01 - SITE WIDE PROPOSED MAX PARAMETERS AND CUMULATIVES

Description of Proposed View:

- 7.30 Site 07 cumulative scheme (white wireframe on the left) has an impact on the view but is of a similar mass and scale to the proposed maximum parameters. It also screens part of the proposed development which is located to the south of this block.
- 7.31 The impact of the Site 07 is also reduced by the screening by the existing trees that will be retained at the junction of East Street. In winter when the trees are not in leaf, Site 07 will be more in view but this would not significantly affect the character or quality of the view.
- 7.32 The combination of Site 07 and proposed development buildings will frame both sides of Thurlow Street to create a strong urban form to this important thoroughfare.
- 7.33 The view is a *Full, Open View*. The development will have a minor to moderate visual impact on the existing view as the Thurlow Street receptors have a low sensitivity although the magnitude of change will be major as the proposed massing of new buildings will be readily noticeable but will not change the overall perception of the view. The significance of the effect will be moderate beneficial as the arrangement of the new buildings will create a coherent yet varied built form which will be a noticeable improvement on the streetscape.
- 7.34 The inclusion of Site 07 to the view will not adversely affect the settings of the listed buildings to the north of the viewpoint.



Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (Max + Cumulative)

VIEW 01 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.35 The proposed First Development Site cannot be seen in the view from Flint Street. Therefore, the view is a *No View* and the development will have negligible impact on the existing view.



Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (FDS)

VIEW 01 - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

- 7.36 The proposed First Development Site cannot be seen in the view from Flint Street. Site 07 cumulative scheme can be seen to the left of the view.
- 7.37 As the FDS cannot be seen, the inclusion of the Site 07 cumulative scheme will not effect the impact of the proposed development on the view. Therefore, the view is a *No View* and the proposed development will have a negligible visual impact on the existing view as the Thurlow Street receptors have a low sensitivity and the magnitude of change will be negligible. The significance of the effect will be negligible.



Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (FDS and Cumulative)

VIEW 02 - EXISTING

Surrey Square to the west of the junction with Flinton Street looking southwest



VIEW 02: Existing

Description of Existing View:

- 7.38 View 02 was taken on Surrey Square to the west of the junction with Flinton Street.
- 7.39 Surrey Square is a quiet residential street with local traffic only due to a road closure to the east of the view. The street has parking and a four height kerb change in level on its northern side. The three storey with basement, brick, Grade II listed terraced buildings create a strong, defined edge to the northern side of the street. The more recently built three storey flats on the southern side of the street are set back from the highway edge with a steel railing and grass verge. The existing horizontal line of the Wendover and Wolverton buildings terminates the view, although the trees associated with Surrey Square Park screen part of the Aylesbury Estate during summer months.

View and Photography Details



Date:	03/08/2014
Time:	09:15:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533300.197 / N:178455.826
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 02 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.40 The proposed development built to minimum parameters can be seen in the centre but background of the view. The proposed buildings are mostly screened by the existing trees, with only a very small portion of one of the proposed buildings viewed at the end of Surrey Square.
- 7.41 The removal of the existing slab block buildings that currently terminate the view will allow views into the proposed development, increasing the distance of the view and reducing the feeling of enclosure created by the existing Estate buildings. In winter when the trees are not in leaf there would be glimpsed views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.42 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the residential receptors have a high sensitivity although the magnitude of change will be minor. The significance of the effect will be major beneficial as the lower building heights and the removal of the buildings terminating the view will be a marked improvement on the view.
- 7.43 The improvement to the view will improve the setting of the listed buildings on Surrey Square.



Surrey Square to the west of the junction with Flinton Street looking southwest - Proposed (Min.)

VIEW 02 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.44 The proposed development built to maximum parameters can be seen in the centre of the view. The proposed buildings are mostly screened by the existing trees and vegetation from Surrey Square Park, with only a very small portion of one of the proposed buildings viewed at the end of Surrey Square.
- 7.45 The proposed buildings at maximum parameters are shorter than the existing blocks of the Aylesbury Estate, but are located closer to the edge of Surrey Square and so appear taller in the foreground.
- 7.46 Similar to the minimum parameter view, the removal of the existing slab block buildings that currently terminate the view will allow views into the proposed development, increasing the distance of the view and reducing the feeling of enclosure created by the existing Estate buildings. In winter when the trees are not in leaf there would be glimpsed views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.47 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the residential receptors have a high sensitivity although the magnitude of change will be minor. The significance of the effect will be major beneficial as the removal of the Estate buildings terminating the view will be a marked improvement on the view.
- 7.48 The improvement to the view will improve the setting of the listed buildings on Surrey Square.



Flint Street, north of East Street looking southeast down Thurlow Street - Proposed (Max)

VIEW 02 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.49 The proposed First Development Site cannot be seen in the view from Surrey Square. Therefore, the view is a *No View* and the proposed development will have a negligible visual impact on the existing view as the residential receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible.



Surrey Square to the west of the junction with Flinton Street looking southwest - Proposed (FDS)

VIEW 02 - CUMULATIVE SCHEMES

Description of Proposed View:

7.50 No cumulative schemes can be seen in this view so they will not affect the impact of the development.

VIEW 03
Eastern end of Smyk’s Road on southern footpath outside No. 77, looking southwest



VIEW 03: Existing

Description of Existing View:

- 7.51 The view is taken from the eastern end of Smyk’s Road on southern footpath outside No. 77.
- 7.52 Smyk’s Road is a quiet residential street with two storey brick terraced houses on both sides. The parked cars, variety of brick and timber front boundary treatments, and the refuse bins within the front gardens creates an inconsistent street edge. The view is terminated by the horizontal dominance of the Wendover and Ravenstone buildings that contrast sharply in height and style with the residential, terraced character of Smyk’s Road. The existing trees in front of the Estate buildings have little effect on softening the built form of the buildings.

View and Photography Details



Date:	03/08/2014
Time:	09:37:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533409 / N:178267.715
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 03 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.53 The proposed development built to minimum parameters can be seen in the centre of the view. The proposed buildings will be partially screened by existing trees, some of which will remain post development.
- 7.54 The proposed buildings at minimum parameters are considerably shorter than the current blocks of the Aylesbury Estate and will therefore improve the view from Smyk's Road. In winter when the trees are not in leaf there may be greater views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.55 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the residential receptors have a high sensitivity although the magnitude of change will be minor. The significance of the effect will be major beneficial as the reduced height of the proposed buildings terminating the view will be a marked improvement on the view.



Eastern end of Smyk's Road on southern footpath outside No. 77, looking southwest - Proposed (Min.)

VIEW 03 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.56 The proposed development built to maximum parameters can be seen in the centre of the view. The proposed buildings will be partially screened by existing trees, some of which will remain post development.
- 7.57 The proposed buildings at maximum parameters are of a similar height to the existing estate building, ravenstone, but shorter than the Wendover building behind. In winter when the trees are not in leaf there may be greater views of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.58 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the residential receptors have a high sensitivity although the magnitude of change will be minor. The significance of the effect will be moderate beneficial as the reduced height of the proposed buildings terminating the view will be a noticeable improvement on the view.



Eastern end of Smyk's Road on southern footpath outside No. 77, looking southwest - Proposed (Max)

VIEW 03 - FIRST DEVELOPMENT SITE

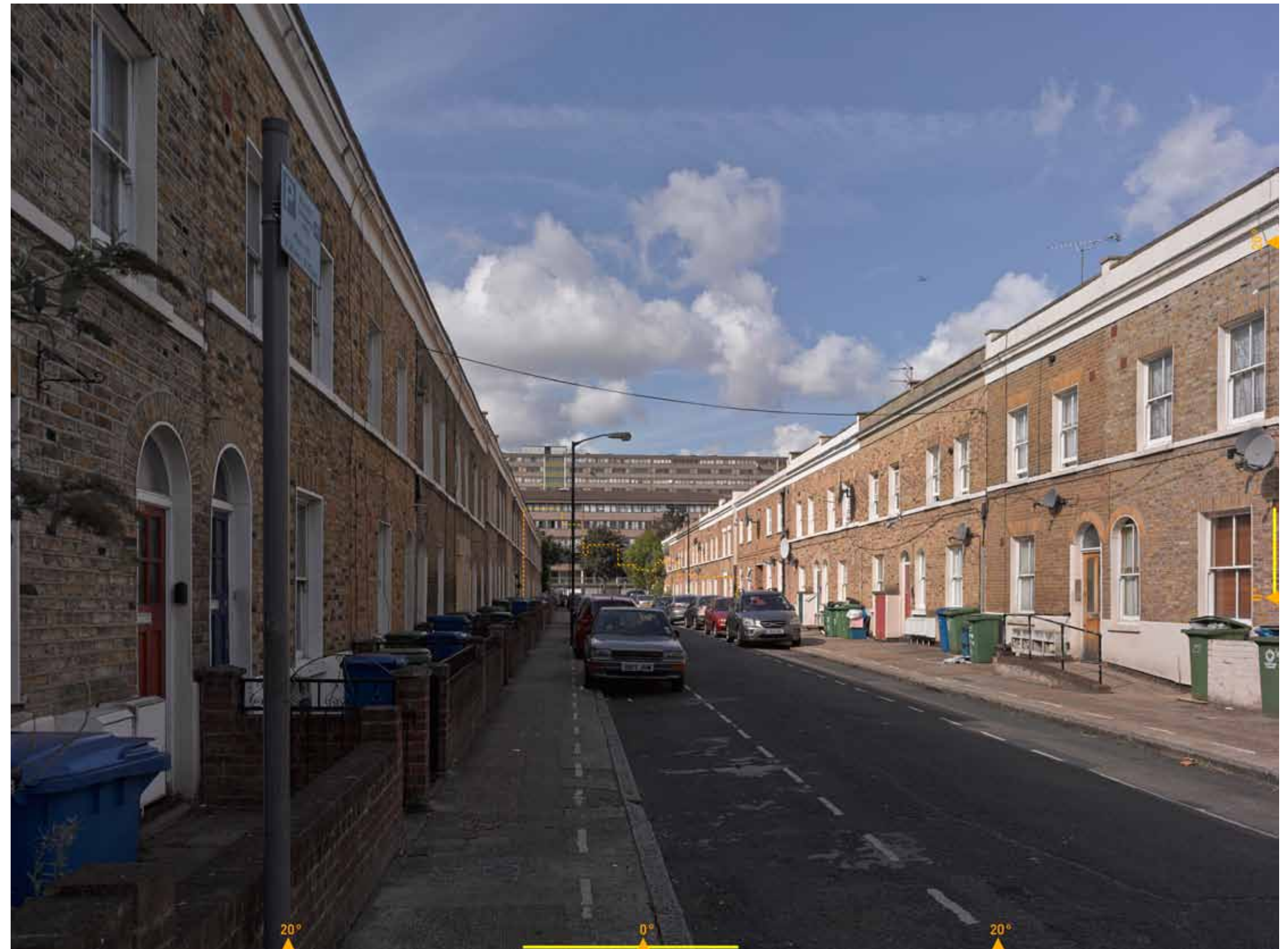
Description of Proposed View:

7.59 The proposed First Development Site cannot be seen in the view from Smyk's Road. Therefore, the view is a No View and the proposed development will have a negligible visual impact on the existing view as the residential receptors have a high sensitivity but the magnitude of change will be negligible. The significance of the effect will be negligible.

VIEW 03 - CUMULATIVE SCHEMES

Description of Proposed View:

7.60 No cumulative schemes can be seen in this view so they will not affect the impact of the development.



Eastern end of Smyk's Road on southern footpath outside No. 77, looking southwest - Proposed (Min.)

VIEW 04
Eastern end of Albany Road



VIEW 04: Existing

Description of Existing View:

- 7.61 The view is taken at the eastern end of Albany Road on southern footpath at a bend in road across the road from No. 96, looking southwest.
- 7.62 Albany Road is a relatively wide road with regular traffic movements. The northern side of Albany Road in this view is edged by two storey brick flats with a pitched roof. The southern edge of the view is dominated by the trees and boundary of Burgess Park. The Wendover building of the Aylesbury Estate can be seen in the distance although it is partially screened by Plane trees edging Albany Road.

View and Photography Details



Date:	03/08/2014
Time:	09:58:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533449.598 / N:178098.487
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 04 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.63 The proposed development built to minimum parameters can be seen in the centre of the view. The proposed development is partially screened by existing vegetation and trees within Burgess Park and along Albany Road which will remain post development. The proposed development is also partially screened by the apartment block on the corner of Albany Road and Bagshot Street.
- 7.64 The Landmark Towers proposed at the junction of Albany Road/Thurlow Street can be seen in this view. The proposed tower closest to the viewpoint is taller than the existing Wendover block but the reduced width of the tower and adjacent building to the north reduces the massing of building seen in the view. Some of the other Park edge buildings to the west are also seen in this view but they will be almost fully screened by the existing trees on Albany Road.
- 7.65 The varied height and massing of the proposed buildings will reduce the impact of the horizontality of the existing built form in this view. The use of brick as the predominant material will also assist the proposed development to marry into its context, reducing the visual impact of the proposed development. In winter when the trees are not in leaf there may be glimpsed views of the lower part of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.66 The view is a *Partial View*. The development will have a minor visual impact on the existing view as the Albany Road receptors have a low sensitivity and the magnitude of change will be moderate. The significance of the effect will be moderate beneficial as the varied height and massing and the use of brick in the proposed buildings will marry the development into the streetscape and the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.

**Eastern end of Albany Road - Proposed (min.)**

VIEW 04 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.67 The proposed development built to maximum parameters can be seen in the centre of the view. The proposed development is partially screened by existing vegetation and trees within Burgess Park and along Albany Road which will remain post development. The proposal is also partially screened by the apartment block on the corner of Albany Road and Bagshot Street.
- 7.68 The proposed tower closest to the viewpoint is taller than the existing Wendover block. The silhouette of the adjacent proposed buildings are similar to the silhouette of the existing Wendover block. Similar to the minimum parameters, some of the other Park edge buildings to the west are also seen in this view but they will be partially screened by the existing trees on Albany Road.
- 7.69 Similar to the minimum parameters, the varied height and massing of the proposed buildings will reduce the impact of the horizontality of the existing built form in this view. The use of brick as the predominant material will also assist the proposed development to marry into its context, reducing its visual impact. In winter when the trees are not in leaf there may be glimpsed views of the lower part of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.70 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the Albany Road receptors have a low sensitivity but the magnitude of change will be major as the changes will alter the perception of the view. The significance of the effect will be minor beneficial as the varied height and massing and the use of brick in the proposed buildings will marry the development into the streetscape and the removal of the horizontality of the existing Estate building will make a discernible improvement to the existing view.



Eastern end of Albany Road - Proposed (max)

VIEW 04 - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.71 The proposed First Development Site can be seen in the centre of the view. The proposed development is in the background and is almost fully screened by existing trees which will remain along Albany Road.
- 7.72 The view is a *Partial View*. The development will have a negligible to minor visual impact on the existing view as the Albany Road receptors have a low sensitivity and the magnitude of change will be minor. The significance of the effect will be negligible as the changes are in the background of the view.



Eastern end of Albany Road - Proposed (FDS)

VIEW 04 - CUMULATIVE SCHEMES

Description of Proposed View:

- 7.73 No cumulative schemes can be seen in this view so they will not affect the impact of the development.

VIEW 05
Cobourg Road, looking west over the lake in Burgess Park



VIEW 05: Existing

Description of Existing View:

- 7.74 The view is taken from the western footpath of Cobourg Road near No. 61-63.
- 7.75 This view has been chosen to assess the impact of the redevelopment on the Cobourg Road Conservation Area and the setting of listed buildings, 29, 31, 49, 51, 53, 55, 57, 59, 61 and 63 No. Cobourg Road. The listed buildings were built between 1820-25 and are four storey, brick individual and paired houses.
- 7.76 The view faces west away from Cobourg Road across Burgess Park to the Aylesbury Estate. The railing fence, grassed edge and trees of the Park dominate the foreground with the Burgess Park lake the dominate feature of the mid-distance view.
- 7.77 The long, slab-like Wendover building from the Aylesbury Estate can be seen in the distance on the far side of the lake, although the trees within the mid-ground screen the lower portions of the building. The concrete CHP chimney on Thurlow Street can be seen to the right of the Wendover building. The Chiltern building and a small portion of the Bradenham

building, also from the Estate, can also be seen in the far distance on the left of the view. The trees along Albany Road and within the park screen other buildings from the Estate.

View and Photography Details



Date:	03/08/2014
Time:	10:02:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533647.11 / N:178033.941
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 05 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

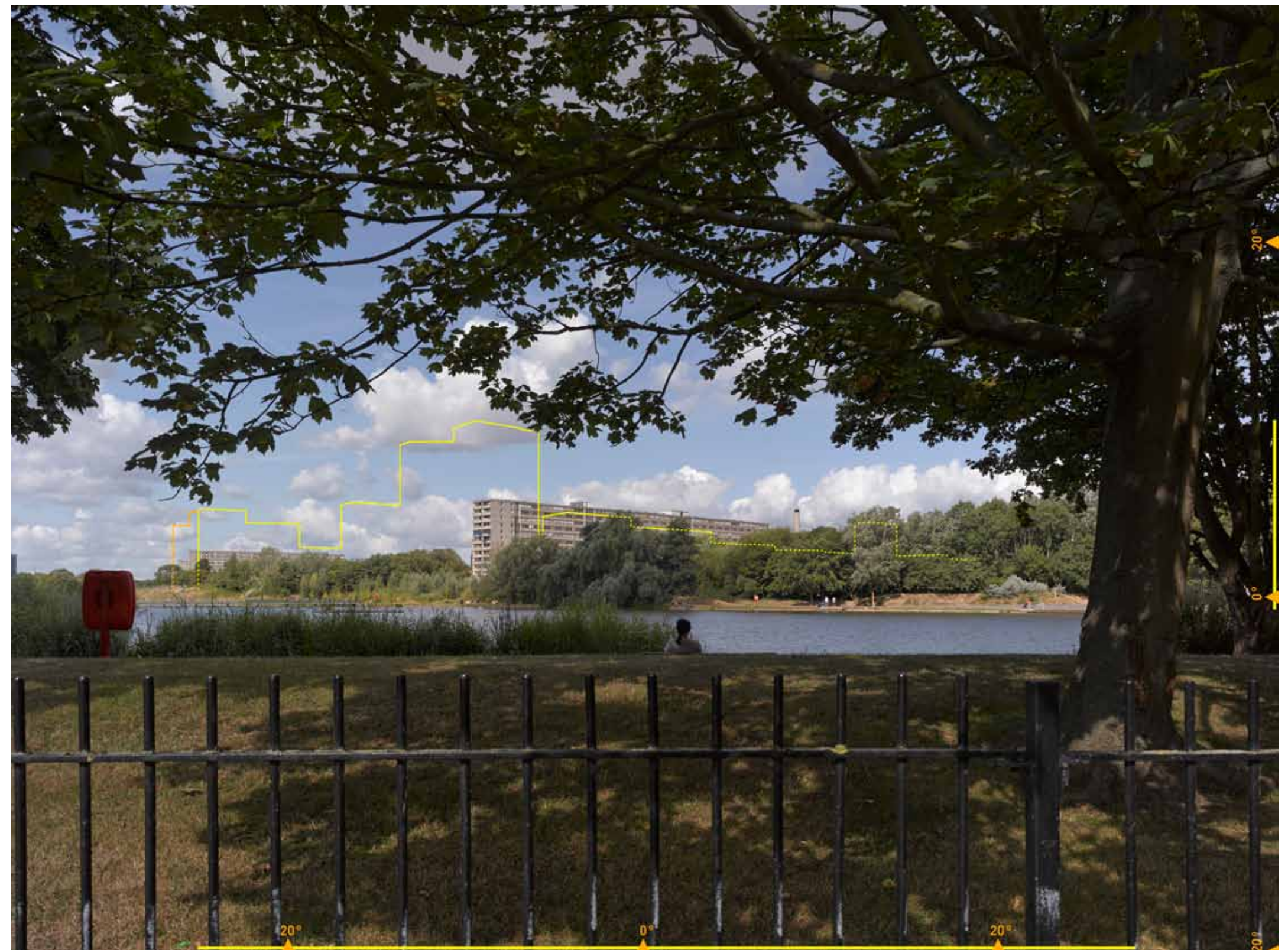
- 7.78 The proposed development built to minimum parameters can be seen across the centre of the view beyond the lake. The proposed development is a background view which is partially screened by existing trees within Burgess Park and Along Albany Road which will remain. Both the Masterplan (green) and FDS (orange) development can be seen in the view.
- 7.79 The Landmark Towers proposed at the junction of Albany Road/Thurlow Street are the tall elements in the centre of the view. Other proposed buildings along the Park Edge can also be seen above the tree-line, rising to the other Landmark Towers at the junction of Portland Street/Albany Road.
- 7.80 The proposed development is taller than the existing Aylesbury Estate blocks in this view but the varied height and massing of the proposed buildings will present a consistent building line and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety of this view. The proposed development will also reduce the impact of the horizontality of the existing built form on the park edge. In winter when the trees are not in leaf there may be glimpsed views of the lower part of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.81 As the development is the background to the view, the setting of the conservation area and listed buildings will be improved. The significance of the conservation area and buildings will be unaffected.
- 7.82 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate. The significance of the effect will be moderate beneficial as the varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate buildings will make a noticeable improvement on the existing view.



VIEW 05 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

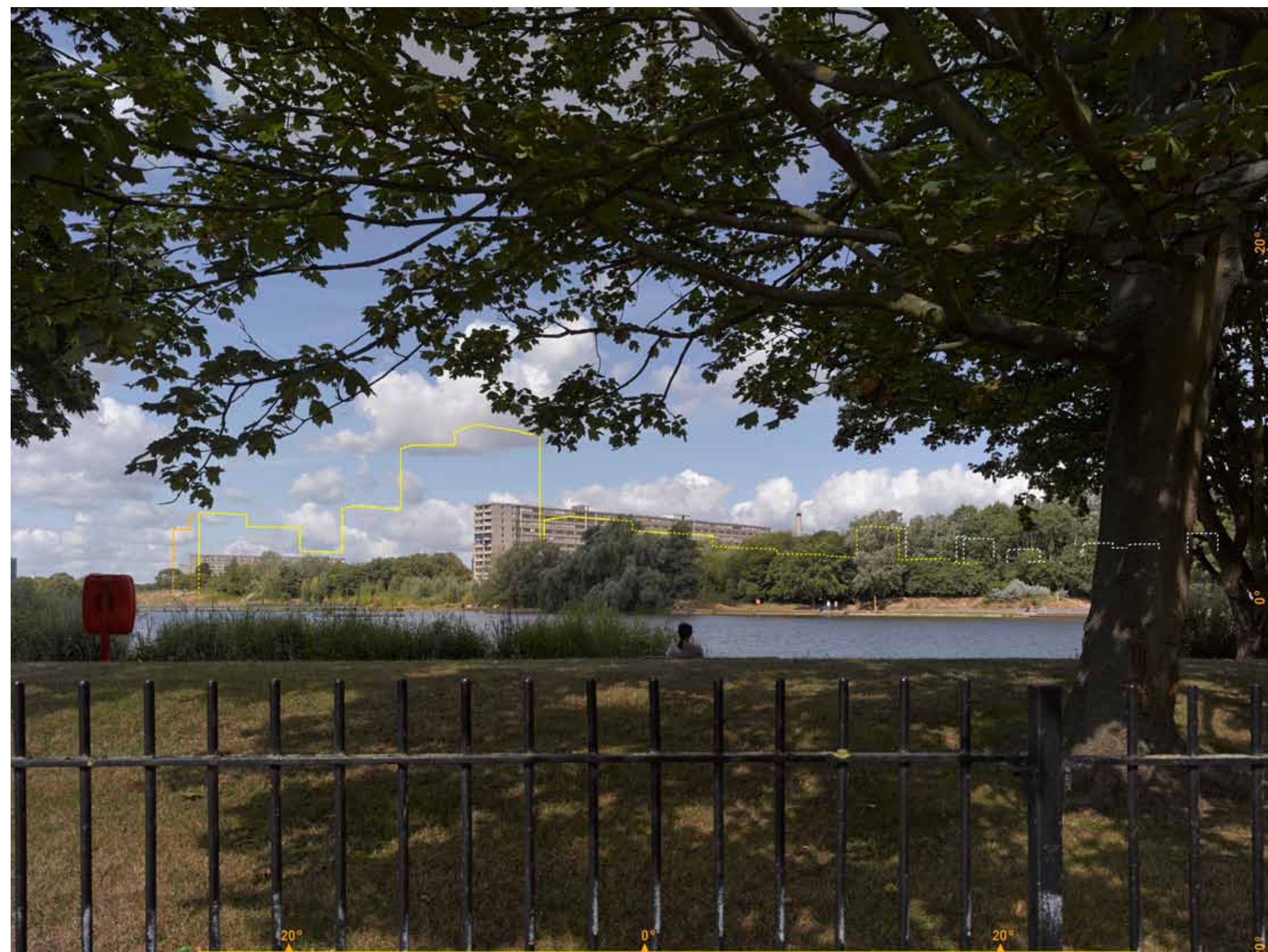
- 7.82 The proposed maximum parameters increase the heights of the proposed buildings so that more buildings will be seen above the tree-line from this viewpoint. However, as with the minimum parameter view, the height and massing of the proposed buildings will create an interesting rhythm along the park which will add to the richness and variety of this view. The reduction in the depth of the buildings also contains the taller buildings to the park edge, in contrast to the slab character of the existing Estate blocks that currently dominate the view.
- 7.83 The use of brick as the predominant material of the proposed buildings will also reduce their dominance as it is a warmer material that is more recognisable as a London townscape typology than the grey, concrete forms of the existing Estate buildings. In winter when the trees are not in leaf there may be glimpsed views of the lower portions of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.84 Similar to the minimum parameter view, as the development is the background to the view, the setting of the conservation area and listed buildings will be improved. The significance of the conservation area and buildings will be unaffected.
- 7.85 The view is a *Partial View*. The development will have a major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major as the changes will alter the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate buildings will make a discernible improvement on the existing view.



VIEW 05 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

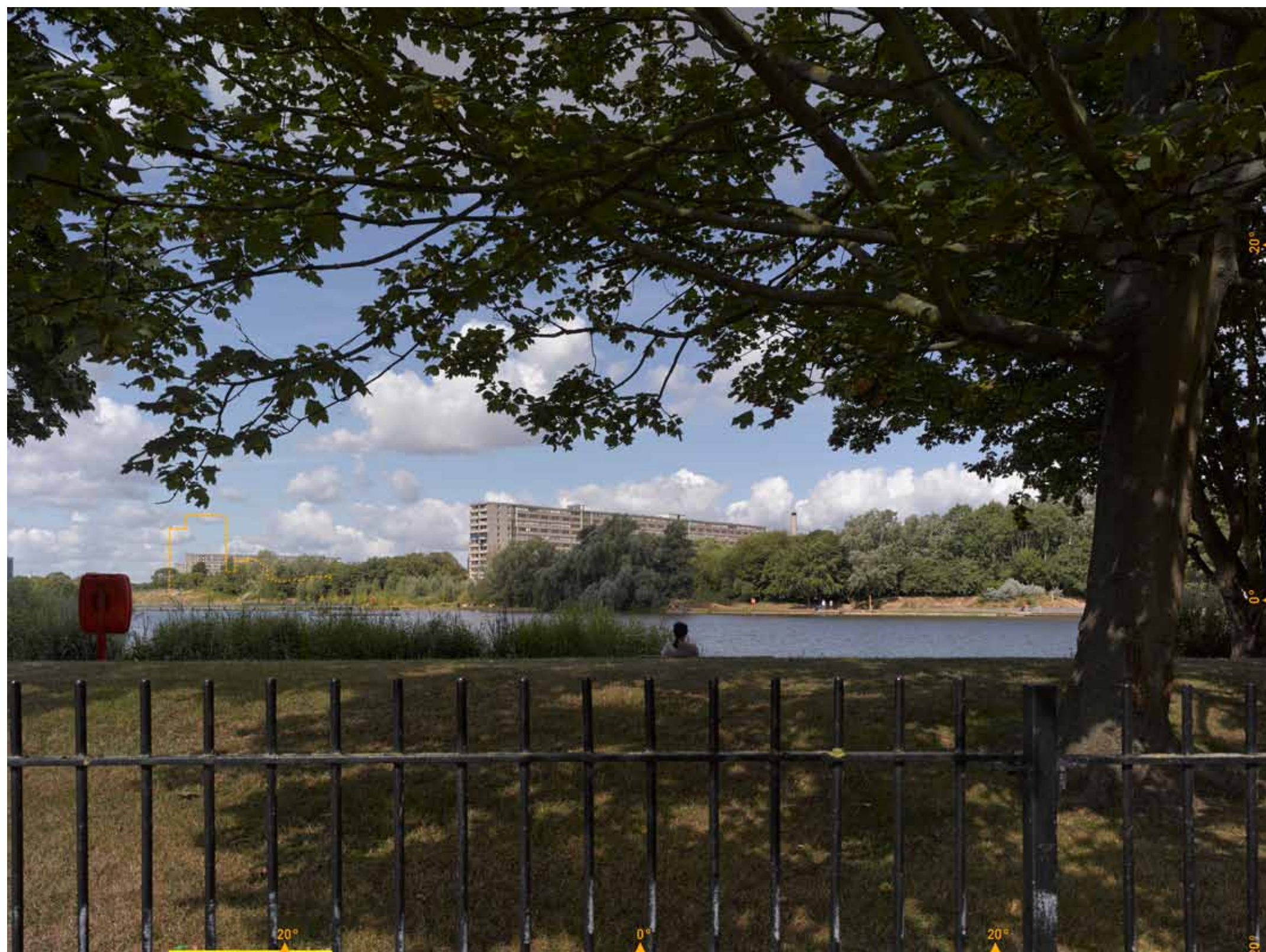
- 7.86 The cumulative schemes (white) are to the right of the proposed development (yellow) and cannot be seen behind the existing vegetation along the northern edge of Burgess Park.
- 7.87 As the cumulative schemes cannot be seen in the view, the impact of the proposed development does not change. Therefore, the development will have a major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial. The cumulative schemes will have no effect on the setting or significance of the conservation area and listed buildings.



VIEW 05 - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.88 The proposed First Development Site can be seen to the left of the centre of this view beyond the lake. The proposed development is a background view and is partially screened by existing vegetation and trees within Burgess Park which will remain.
- 7.89 The Landmark Towers proposed at the junction of Albany Road/Portland Street are the tall elements that can be seen from this viewpoint. The proposed development is taller than the existing Aylesbury Estate blocks but the reduced depth of the proposed buildings and the distance of the development from the viewpoint will reduce the visual impact of the development. In winter when the vegetation is not in leaf there may be glimpsed views of the lower portions of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.90 As the development is the distance, the setting and significance of the conservation area and listed buildings will be unaffected.
- 7.91 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be minor. The significance of the effect will be minor beneficial as the removal of the horizontality of the existing Chiltern building will make a discernible improvement on the existing view.



VIEW 05 - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

- 7.92 The cumulative schemes (white) are to the right of the view and cannot be seen behind the existing vegetation along the northern edge of Burgess Park.
- 7.93 As the cumulative schemes cannot be seen in the view, the impact of the proposed development does not change. Therefore, the development will have a minor to moderate visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be minor. The significance of the effect will be minor beneficial



VIEW 07
Burgess Park bridge looking west



VIEW 07: Existing

Description of Existing View:

- 7.94 The view is taken from the southern end of the bridge across the lake in Burgess Park looking northwest towards the development site.
- 7.95 The foreground reveals the lake, a path on the northern side of the lake, and the angular grass and wildflower mounds on the northern edge of the park. The mounds on the right side of the view are partially covered by a mix of large shrubs and trees, creating a dense screen.
- 7.96 The horizontal lines of three of the existing Aylesbury Estate buildings can be seen on either edge of the view: the Wendover building on the right of the view and the Chiltern and Bradenham buildings within the First Development Site on the left side of the view. No other Estate buildings can be seen above the mounds and trees.

View and Photography Details



Date:	03/08/2014
Time:	10:04:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533455.826 / N:177930.493
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 07 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.97 The proposed development built to minimum parameters can be seen across the centre of the view in the background beyond the lake. The proposed development is partially screened by existing vegetation and mounding within Burgess Park which will remain, particularly on the right side of the view. Both the Masterplan (green) and FDS (orange) development can be seen in the view.
- 7.98 The Landmark Towers proposed at the junction of Albany Road/Thurlow Street are the tall elements on the right side of the view. Other proposed buildings along the Park Edge can also be seen above the tree-line, rising to the other Landmark Towers at the junction of Portland Street/Albany Road. The view is similar to View 05 from Coburg Road although a greater proportion of the proposed development will be seen.
- 7.99 The proposed development is taller than the existing Aylesbury Estate blocks in this view but their varied height and massing will present a consistent building line and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety of this view.
- 7.100 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate. The significance of the effect will be minor beneficial as the varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.



VIEW 07 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.101 Although the proposed maximum parameters increase the heights of the proposed buildings, the effect of the increased height on the view is negligible.
- 7.102 Therefore, the development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate. The significance of the effect will be minor beneficial as the varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.



VIEW 07 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

- 7.103 No cumulative schemes can be seen in this view so they will not effect the impact of the development.

VIEW 07 - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.104 The proposed First Development Site can be seen to the left of the centre of the view beyond the lake. The development is in the distance and the lower floors of the proposed buildings are partially screened by existing vegetation and mounding within Burgess Park which will remain.
- 7.105 The Landmark Towers proposed at the junction of Albany Road/Portland Street is the tall element that can be seen from this viewpoint. The proposed development is taller than the existing Aylesbury Estate blocks in this view but the reduced depth of the proposed buildings and the distance of the development from the viewpoint will reduce the visual impact of the development.
- 7.106 The view is a *Full, Open View*. The development will have a minor to moderate visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be minor. The significance of the effect will be minor beneficial as the removal of the horizontality of the existing buildings will make a discernible improvement on the existing view.



VIEW 07 - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

7.107 The cumulative schemes can just be seen on the right of the view.

7.108 As the cumulative schemes are not in proximity to the FDS and can barely be seen within the view, the impact of the proposed development does not change. Therefore, the development will have a minor to moderate visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be minor. The significance of the effect will be minor beneficial.



VIEW 08
Top of mound in centre of Burgess Park, looking northwest towards Thurlow Street



VIEW 08: Existing

Description of Existing View:

- 7.109 View is taken on top of a grass mound near the centre of Burgess Park which was created in the recent park improvements in 2012. The higher aspect provides a view above the tree line on Albany Road. The view is on the alignment of Thurlow Street within Aylesbury Estate.
- 7.110 The foreground is dominated by the Burgess Park landscape of open grass parkland crossed by tarmac paths with a lake to the right of the view and angular wildflower and grass mounds along the park's northern edge. A tarmac path on the same alignment as Thurlow Street starts at the lake in the centre of the view and terminates at Albany Road.
- 7.111 A dense line of trees can be seen in the mid ground, following the alignment of Albany Road. The trees are located both within the park boundary, particularly on the right side of the view, along Albany Road, and within the Aylesbury Estate. The trees create a filtered screen of the lower levels of the

- estate buildings, with only glimpses of the four storey Emberton, Danesfield, Calverton and Gayhurst buildings that run parallel to Albany Road seen between the tree canopies.
- 7.112 The end and side of the Wendover building on the right side of Thurlow Street dominates the view. To the left of the Thurlow Street, the CHP chimney is a strong vertical element in the view. The southern end of the Taplow building can be seen in the distance behind the chimney. The black and white Strata building, located in Elephant and Castle, and The Shard at London bridge are the other vertical elements in the view. The BT Tower and Guys Hospital buildings can also be seen in the far distance.
- 7.113 The horizontal line of another Aylesbury Estate building (Chiltern or Bradenham) can just be seen above the trees on the left side of view. Other brick residential buildings located behind the Aylesbury Estate can also be seen on the left side of the view.

View and Photography Details

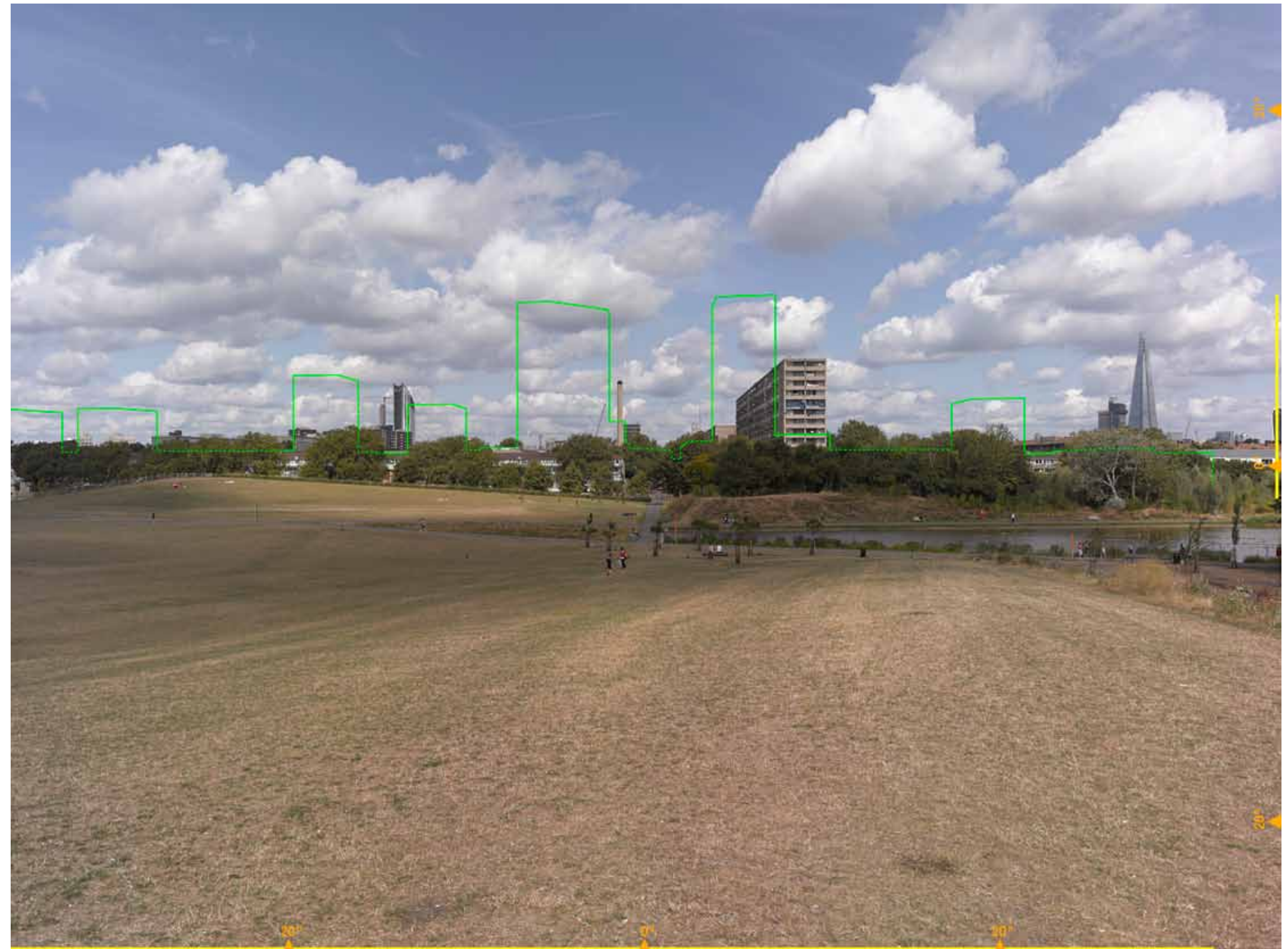


Date:	03/08/2014
Time:	10:07:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533411.607 / N:177787.932
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 08 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.114 The proposed development built to minimum parameters can be seen across the centre of the view in the middle distance. The proposed development is partially screened by existing vegetation and mounding within Burgess Park which will remain. Only the proposed buildings within the Masterplan (green) can be seen in this view.
- 7.115 The Landmark Towers proposed at the junction of Albany Road/Thurlow Street are the tall elements in the centre of the view. They will create a dramatic gateway to Thurlow Street from this viewing platform within Burgess Park, complementing The Shard to the right of the view. Other proposed buildings along the Park Edge can also be seen above the tree-line.
- 7.116 The proposed development is taller than the existing Aylesbury Estate blocks in this view but their varied height and massing will present a consistent building line and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety of this view. The reduced depth of the proposed buildings will also contain the taller elements to the park edge, in contrast to the slab character of the existing Wendover Building that extends into the Estate. In winter when the trees are not in leaf there may be glimpsed views of the lower part of the development through the trees but this would not significantly affect the character or quality of the view.
- 7.117 The view is a *Full, Open View*. The development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate as the changes will be noticeable but will not change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline to the park that will complement the other tall buildings in the distance.



VIEW 08 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.118 The increased heights of the maximum parameters reveals more of the proposed Park Edge buildings above the tree-line in this view.
- 7.119 Similar to the minimum parameter view, the proposed development will present a consistent building line to the park and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety of this view.
- 7.120 The view is a *Full, Open View*. The development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major as the increased height of the development will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).



VIEW 08 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

7.121 A cumulative scheme (white) can just be seen on the centre-left of the view near the existing Strata Building behind the proposed development.

7.122 As the cumulative scheme can only just be seen above the proposed development, the impact of the proposed development will not change. Therefore, the development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial.



VIEW 08 - FDS

Description of Proposed View:

7.123 The FDS cannot be seen in this view so it will not effect the view.

VIEW 09
East of the Almshouses in Burgess Park, looking west



VIEW 09: Existing

Description of Existing View:

- 7.124 The view is taken to the east of the north wing of the Grade II listed Almshouses within Burgess Park, looking west.
- 7.125 The Almshouses are a group of three building forming a U shape around a garden. Built early in the 19th century, the two storey brick buildings were used by the Female Friends Society as sheltered housing for women until WWII when they fell into disrepair. They were saved from demolition during the creation of Burgess Park and were renovated in 1981. A multi-cultural garden was established around the houses in 1995. The Grade II listed buildings are used today as a museum, cafe and children and parents' centre.
- 7.126 The view looks across the forecourt of the Almshouse cafe and the Chumleigh Gardens playground. One storey park buildings can be seen behind brick and lattice fencing in the mid ground of the view.

- 7.127 The horizontal, grey form of the Aylesbury Estate Chiltern building dominates the view. There are filtered views of the 4 storey Emberton and Danesfield buildings between the trees on the right of the view. The windows and tiled roof treatment are the main features of these buildings in this view.

View and Photography Details



Date:	03/08/2014
Time:	12:16:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533164.751 / N:177829.212
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 09 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.128 The proposed development built to minimum parameters can be seen across the centre of the view. The lower portions of the proposed development is partially screened by existing vegetation and structures within Burgess Park and along Albany Road which will remain. Both the Masterplan (green) and FDS (orange) development can be seen in the view.
- 7.129 The taller buildings at the junctions of Albany Road with Portland Street and Well's Way are the taller elements in the view. The proposed buildings increase the quantity of built form within this view but the varied height and massing of the proposed buildings reduces the impact of the horizontality of the existing blocks and creates a consistent and interesting rhythm along the park which will add to the richness and variety of this view. In winter when the vegetation is not in leaf there may be glimpsed views of the lower part of the development through the vegetation but this would not significantly affect the character or quality of the view.
- 7.130 The use of brick as the predominant material of the proposed buildings will reduce their dominance as it is a warmer material that is more recognisable as a London townscape typology than the grey, concrete forms of the existing Estate buildings and will complement the typology of the Almshouses. This will reduce the visual impact of the development on the Almshouses. The curtilage of the Almshouses remains unaltered and their significance unaffected by the development.
- 7.131 The view is a *Full, Open View*. The development will have a major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major as the increased massing of the development will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).



VIEW 09 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.132 The increased height of the maximum parameters increases the dominance of the proposed buildings within the view. However, similar to the minimum parameters, the varied height and massing of the proposed buildings creates a consistent and interesting rhythm along the park which will add to the richness and variety of this view.
- 7.133 There is no change on the impact of the maximum parameters on the Grade II listed Almshouses and the loss of leaves in the winter view will not significantly affect the character or quality of the view.
- 7.134 The view is a *Full, Open View*. The development will have a major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be major as the increased massing of the development will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).

VIEW 07 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

- 7.135 No cumulative schemes can be seen in this view as they are screened by the proposed development and existing vegetation so they will not affect the impact of the development.



VIEW 09 - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.136 The proposed First Development Site can be seen in the centre of the view in the distance. The lower portions of the proposed development is partially screened by existing vegetation and structures within Burgess Park which will remain.
- 7.137 The Landmark Tower building at the junction of Albany Road and Portland Street is the taller element in the view. The proposed buildings replace the existing slab-like Chiltern block with buildings of varied height and a reduced depth that will reduce the dominance of the horizontal built form within this view.
- 7.138 The use of brick as the predominant material of the proposed buildings will reduce their dominance as it is a warmer material that is more recognisable as a London townscape typology than the grey, concrete forms of the existing Estate buildings. This will reduce the visual impact of the development on the Almshouses. The curtilage of the Almshouses remains unaltered and their significance unaffected by the development.
- 7.139 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate as the increased height of the development will not change the overall perception of the view. The significance of the effect will be moderate beneficial as the removal of the horizontality of the existing Chiltern building and the variety of height and massing of the proposed development will make a noticeable improvement on the existing view.



VIEW 09 - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

- 7.140 The cumulative schemes (white) are behind the trees on the right side of the view.
- 7.141 As the cumulative schemes are not in proximity to the FDS, the impact of the proposed development does not change. Therefore, the development will have a moderate to major visual impact on the existing view as the park receptors have a high sensitivity and the magnitude of change will be moderate. The significance of the effect will be moderate beneficial.



VIEW 10
Canal Bridge on Wells Way, looking north



VIEW 10: Existing

Description of Existing View:

- 7.142 The view is taken from the southern edge of the bridge over the former canal on the western footpath on Wells Way, looking north.
- 7.143 Wells Way is a busy, two way road taking traffic, including buses, from Albany Road south to Peckham and Camberwell. The view has been chosen to assess the impact of the redevelopment on the setting of the Grade II listed Groundwork trust Office and the traffic on Wells Way.
- 7.144 The public baths and wash house, later public library and sports club and now office building, were built in 1902 by Maurice Adams, architect. It is a picturesque group of buildings combining different styles in its various features with a distinctive butterfly motif on its southern facade.

- 7.145 The left side of the view is edged by the green structure of the trees within Burgess Park. The right side of the view shows the brick, pitched roof building of the former public baths, including the partially screened the butterfly motif on its southern facade.
- 7.146 The triangular, glass Shard building at London Bridge is the key vertical element in the view, almost on alignment with the termination of Well's Way. The grey, horizontal form of the four storey Gayhurst 80-144 Aylesbury Estate building can be seen at the termination of the street and view.

View and Photography Details



Date:	03/08/2014
Time:	12:15:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:533018.921 / N:177629.921
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 10 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.147 The proposed development built to minimum parameters can be seen on the left side of the view at the end of Wells Way and behind the trees on the right side of the view. The proposed development is partially screened at the lower levels at the end of Wells Way and fully screened on the left and right side of the view by existing vegetation and structures. Only the Masterplan development (green) can be seen in this view.
- 7.148 Only one of the taller Park Edge buildings is seen in this view at the end of Wells Way as the other tall building is screened by vegetation. This building will block the current view of The Shard. Lower buildings between the taller buildings are within the silhouette of the existing Estate building.
- 7.149 The proposed buildings are well proportioned with the existing Grade II listed office building on the east side of Wells Way. The use of brick as the predominant material in the proposed buildings will complement the brick facade of the listed building. In winter when the trees are not in leaf there may be glimpsed views of the tall building to the left of the view through the trees but this would not significantly affect the character or quality of the view. It is unlikely that the proposed buildings on the right of the view will be seen in winter.
- 7.150 The view is a *Partial View*. The development will have a minor visual impact on the existing view as the Wells Way receptors have low sensitivity and the magnitude of change will be moderate as the increased height of the development will not change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character.



VIEW 10 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.151 The maximum parameters increases the height of the proposed buildings at the end of Wells Way. The tall building on the right is still in good proportion with the existing office building and the proposed brick material will complement the brick facade of this existing Grade II listed building.
- 7.152 The remainder of the proposed buildings that can be seen in the view fit within the silhouette of the existing Estate buildings. Similar to the minimum parameter view, in winter when the trees are not in leaf there may be glimpsed views of the tall building to the left of the view through the trees but this would not significantly affect the character or quality of the view. It is unlikely that the proposed buildings on the right of the view will be seen in winter at maximum parameters.
- 7.153 The view is a *Partial View*. The development will have a minor to moderate visual impact on the existing view as the Wells Way receptors have low sensitivity but the magnitude of change will be major as the increased height of the buildings will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character.

VIEW 10 - FDS AND CUMULATIVES

Description of Proposed View:

- 7.154 The FDS or cumulative schemes cannot be seen in this view so they will not effect the view.



VIEW 11
Southwest of the lime kiln in Burgess Park, looking north towards Portland Street



VIEW 11: Existing

Description of Existing View:

- 7.155 The view is taken at the junction of paths to the southwest of the lime kiln in Burgess Park, looking north towards Portland Street.
- 7.156 Burgess Park is a regional park with a range of active and passive recreation facilities. Prior to its creation as a park, Burgess Park was occupied by houses, factories, schools, roads and a canal. Improvements works were completed to Burgess Park in the 2012, including the placement of angular mounds along the northern border of the park. This view is at the junction of the main east-west path in the Park and a new entrance path from Albany Road. The Grade II listed lime kiln is located to the east of the view. It was built for the manufacture of Roman cement in 1816 as part of Burr's Yard and had its raw materials delivered by barge.

- 7.157 The foreground of the view is dominated by the tarmac path and the angular wildflower mounds on the northern border of the park. The mound on the left side of the view is basically flat, whilst the mound to the right of the path has a steeply sloped edge.
- 7.158 The horizontal slab character of the Chiltern building on the eastern edge of the First Development Site is centred at the end of the path, dominating the view. The upper reaches of the glass Shard building at London Bridge is to the right of the existing building behind the trees. The dense tree cover along Albany Road screens all other buildings from the view.

View and Photography Details



Date:	03/08/2014
Time:	12:17:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532841.659 / N:177620.042
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 11 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.159 The proposed development built to minimum parameters can be seen across the centre view. The lower portions of the proposed development is partially screened by existing vegetation and mounding within Burgess Park and mature trees on Albany Road which will remain. Both the Masterplan (green) and FDS (orange) development can be seen in the view.
- 7.160 The Landmark Towers proposed at the junction of Albany Road and Portland Street are the tall elements in the view. They will create a dramatic gateway effect to Portland Street, emphasising the location of this important north-south street. The reduced depth of the proposed towers contains the taller elements to the park edge, in contrast to the slab character of the Chiltern Building that extends into the site. The Shard can be seen between the two proposed buildings.
- 7.161 The smaller proposed buildings on the right side of the view are almost fully screened by the existing trees and mounding. The FDS buildings on the left side of the view will form a composition of buildings. In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees but this would not significantly affect the character or quality of the view.
- 7.162 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be moderate as the increased height of the buildings will change the view but will not alter the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park.



VIEW 11 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

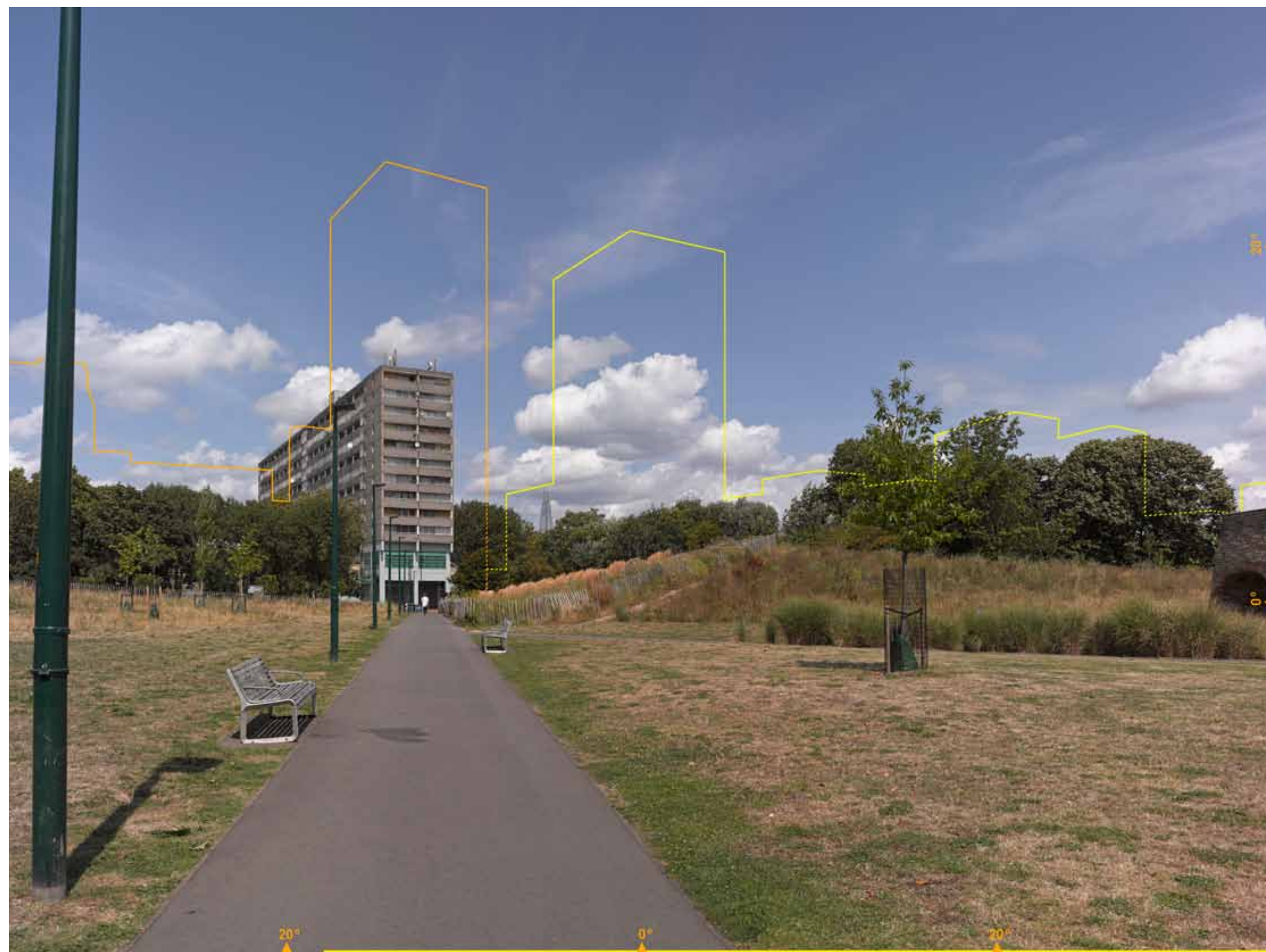
Description of Proposed View:

- 7.163 The increase in the height of the Masterplan buildings at their maximum parameters improves the composition of the tall buildings as an urban edge. However, the increased height increases the impact of the development as more of the buildings will be seen.
- 7.164 The view of The Shard is blocked by the proposed buildings in this view. The impact of the smaller buildings does not change from the minimum parameter views.
- 7.165 The view is a *Partial View*. The development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major as the increased height of the buildings will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).

VIEW 11 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

- 7.166 No cumulative schemes can be seen in this view so they will not affect the impact of the development.



VIEW 11 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.167 The proposed First Development Site can be seen to the centre and left of the view. The lower portions of the proposed development is screened by existing vegetation within Burgess Park and mature trees on Albany Road which will remain.

7.168 The Landmark Tower proposed at the junction of Albany Road and Portland Street is the tall element in the view. The proposed tower is taller than the existing Chiltern block but its reduced depth reduces the built form dominance in the view in comparison to the existing Chiltern Building. The Shard can be seen to the right of the proposed tower.

7.169 The smaller proposed buildings on the left side of the tower will form a composition of buildings that will create a strong urban edge to Burgess Park. In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees but this would not significantly affect the character or quality of the view.

7.170 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be moderate as the increased height of the buildings will change the view but will not alter the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park.



VIEW 11 - FDS ILLUSTRATIVE VIEW

Description of Proposed View:

- 7.171 The illustrative view shows how the tower has been orientated so that its narrowest elevation faces onto the park. The elevational design creates a vertical emphasis with stacking balconies and windows designed to enhance this verticality and the slender appearance of the building.
- 7.172 The building follows established principles for the design of tall buildings with a clearly defined based, body and crown that is visible in this view, creating visual interest and avoiding the building being perceived as overbearing.
- 7.173 The top of the tower has been designed to enclose the residents' roof terrace with a full height screen that also hides the lift overrun and access to the terrace. This approach has been a direct response to assessing the appearance of the tower in all views to ensure that each elevation presents a considered facade that can be seen in different views. This can also be appreciated in this view where the 'rear' courtyard facing flank of the building is clearly seen, showing how the design has been considered 'in the round' with the same elevational material being applied to each facade of the tower.
- 7.174 The lower buildings visible behind the tower show the gap between the tower and Building 6B which breaks the overall appearance of the mass into a more modelled composition, more so than is suggested in the wireframe views.
- 7.175 The lower six storey massing that sets a lower shoulder height across the park frontage is mostly hidden by tree cover whilst still suggesting a more defined and urban edge to the park (compared to the existing).



VIEW 11 - CUMULATIVE SCHEMES

Description of Proposed View:

- 7.176 No cumulative schemes can be seen in this view so they will not affect the impact of the development.

VIEW 12
Burgess Park looking north towards the First Development Site



VIEW 12: Existing

Description of Existing View:

- 7.177 The view is taken from the junction of paths near the western end of Burgess Park, looking north towards the First Development Site.
- 7.178 Burgess Park is a regional park with a range of active and passive recreation facilities. Improvements works were completed to Burgess Park in the 2012, including the placement of angular mounds along the northern border of the park. This view is at the junction of the main east-west path in the Park and a new entrance path from Albany Road.
- 7.179 The foreground of the view is dominated by the tarmac path and the angular wildflower mounds on the northern border of the park. The mound to the right of the path slopes steeply away from the path. The east-west line of trees along Albany Road, both within the park and from the Estate beyond, can just be seen behind the mound. The trees provide a green edge to the park and create a filtered screen of the development site.

7.180 The horizontal slab character of the Bradenham and Chiltern buildings on the edges of the First Development Site can be seen on either edge of the view. The brick and glass facade of the new, 10 storey Arments Court Building can also be seen on the left of the view. The front facades of Arments Court and Bradenham have a similar horizontal style reflecting their balconies.

View and Photography Details



Date:	03/08/2014
Time:	12:18:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532590.783 / N:177602.269
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 12 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.181 The FDS (orange) development is mostly seen from this view with a partial view of one of the Masterplan buildings (green) on the right edge of the view. The lower portions of the proposed development is screened by existing vegetation and mounding within Burgess Park and mature trees on Albany Road which will remain.
- 7.182 The proposed buildings range in height and massing across the view, creating a varied urban form in comparison to the two existing slab buildings (Bradenham and Chiltern) that currently bookend the view. The proposed development responds well to the newly built Site 1A building on the left edge of the view and the use of brick as the predominant material in the proposed buildings will continue the brick typology started in Site 1A. The proposed development increases the height and massing of building that can be seen from this viewpoint.
- 7.183 As it is mainly the mounding that is screening the lower portions of the proposed development, the winter view will not significantly affect the character or quality of the view.
- 7.184 The view is a *Full, Open View*. The development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major as the increased height and massing of the buildings will change the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).



VIEW 12 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

7.185 As the masterplan building that has increased in height can only partially be seen in the view, the impact of the view is unchanged from the minimum parameter view.

7.186 The development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major as the increased height and massing of the buildings will change the overall perception of the view. The significance of the effect will be minor beneficial.

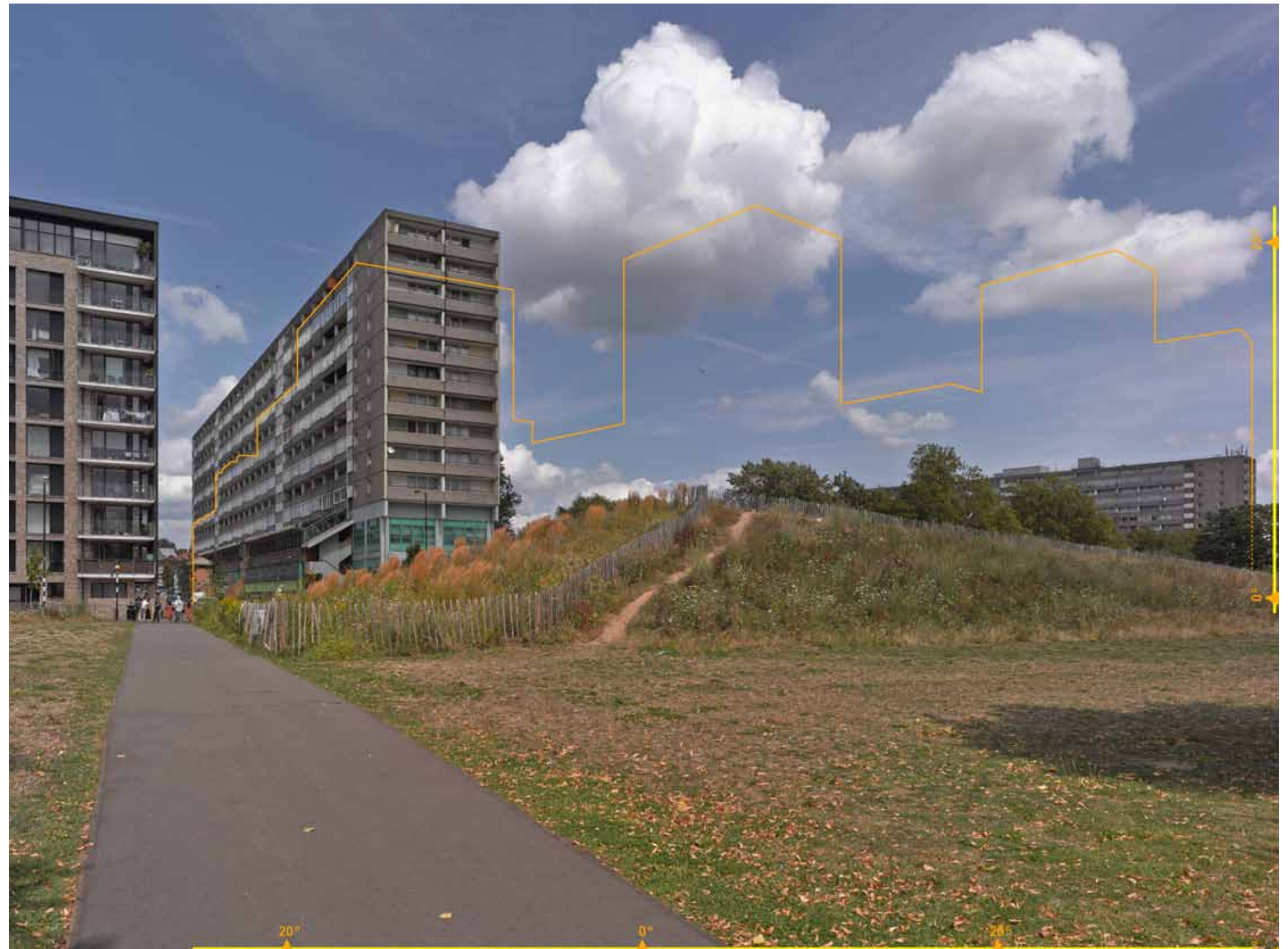


VIEW 12 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.187 As the view is predominantly unchanged from the site wide minimum and maximum views, the impact of the view is unchanged.

7.188 The development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major as the increased height and massing of the buildings will change the overall perception of the view. The significance of the effect will be minor beneficial.



VIEW 12 - CUMULATIVE SCHEMES

Description of Proposed View:

7.189 No cumulative schemes can be seen in this view so they will not affect the impact of the development.

VIEW 12 - FIRST DEVELOPMENT SITE ILLUSTRATIVE

Description of Proposed View:

- 7.190 The illustrative view shows that, although there will be more buildings within the view, the proposed buildings will be an improvement on the existing Bradenham and Chiltern buildings as they provide a varied, stepped massing.
- 7.191 The view along Bradenham Close to the right of the existing Site 1A building is also improved as the stepped massing along the street elevation appears less constrained, wider and more welcoming and with more view of the sky than the existing view. The improved streetscape also encourages people to enter the regeneration site, improving the link to Westmoreland Square and to destinations beyond the development site.
- 7.192 The stepped building forms maintains views of the sky whilst intensifying the amount of scale and massing along the park edge to create a more defined urban edge to the park.
- 7.193 The palette of brickwork types used in the proposed buildings presents a coordinated but visually interesting appearance that improves on the dull grey concrete of the existing Estate buildings. Each building is given an individual character, defined by different materials, glazing, balconies and tops to buildings, to create a more varied cityscape.



VIEW 13
Addington Square looking north towards the First Development Site



VIEW 13: Existing

Description of Existing View:

- 7.194 Addington Square is a residential development from early 20th century. Terrace and semi-detached houses make up three sides of the square, with the fourth side open to the north to Burgess Park. A small park is located in the middle of the square, with mature trees, decorative planting beds and a sculpture. Railings surround the park and form a boundary with Burgess Park, with a gate on the north west side of the Square. The buildings around the Square are Grade II listed and the Square is identified as a conservation area on Southwark Maps.
- 7.195 The view is taken on the western footpath of the eastern side of the square, looking north towards the First Development Site.
- 7.196 The overhanging tree and the facade of the buildings dominate foreground of the view.
- 7.197 Burgess Park is a regional park with a range of active and passive recreation facilities. This view is taken near the tennis courts and one storey Tennis Cafe which was built in 2004.

The black fencing of the tennis courts can be seen in the mid ground of the view.

- 7.198 The view looks north across the edge of the Square to Burgess Park and the Aylesbury Estate beyond. Trees within the Square and park reduce the view of the Estate buildings. However, the Bradenham building, the eastern most building of the remaining Aylesbury Estate, can be seen through the tree planting. The lower storeys of the recently completed 10 storey, Arments Court, part of Phase 1A development of the Aylesbury Estate, can just be seen below the overhanging trees from the Square.

View and Photography Details



Date:	08/08/2014
Time:	13:30:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532582.622 / N:177519.266
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 13 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.199 Only the FDS development (orange) can be seen in the view from Addington Square. The proposed development is heavily screened by existing vegetation within Addington Square and Burgess Park that will remain.
- 7.200 The existing Bradenham Block will be replaced by a combination of buildings that step down in size, reducing the effect of the existing slab building. A proposed tower can be seen in the view between the Bradenham Block and the northern wing of the Square, increasing the massing of buildings seen from this viewpoint.
- 7.201 As the development is in the background, the existing trees and features of Burgess Park will reduce the impact of the development. The use of brick as the predominant material in the proposed buildings will also minimise their impact as it is a warmer material that is more recognisable as a London townscape typology than the grey, concrete forms of the existing Estate buildings and will complement the brick facades of the listed buildings. In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees but this would not significantly affect the character or quality of the view.
- 7.202 The view is a *Partial View*. The development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major as the increased massing of the buildings will alter the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing of the development will create a coherent skyline and a strong urban character to the park as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009).
- 7.203 The development will have a moderate beneficial effect on Addington Square conservation area and the listed buildings of Addington Square. The proposals will not affect the significance of the listed buildings.



VIEW 13 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

7.204 As the Masterplan development cannot be seen in the view, the impact of the view has not changed with the maximum parameters. Therefore, the development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial.



VIEW 13 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

7.205 The only change to the minimum and maximum parameter views is the inclusion of two cumulative views (white) on the left edge of the view which are screened by vegetation. As these cumulative schemes do not affect the view, the impact of the proposed development has not changed. Therefore, the development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial.



VIEW 13 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.206 The proposed First Development Site within this view has not changed from the site wide minimum and maximum parameter views. Therefore, the development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial.



VIEW 13 - FIRST DEVELOPMENT SITE AND CUMULATIVES

Description of Proposed View:

7.207 The only change to the First Development Site view is the inclusion of two cumulative views (white) on the left edge of the view which are screened by vegetation. As these cumulative schemes do not affect the view, the impact of the proposed development has not changed. Therefore, the development will have a major visual impact on the existing view as the park receptors have high sensitivity and the magnitude of change will be major. The significance of the effect will be minor beneficial.



VIEW 14
Western end of Albany Road looking east



VIEW 14: Existing

Description of Existing View:

- 7.208The view is taken from near the western end of Albany Road on the southern footpath at bus stop P, looking east.
- 7.209Albany is a busy, two-way road with parking on both sides and a bus route. It is edged by Burgess Park on the south and residential development, including the Aylesbury Estate on the north. Improvements works to Burgess Park were completed in the 2012 which included the placement of angular mounds along the northern border of the park.
- 7.210The view has the railing fence and green edge of Burgess Park on the right. The left side of the view consists of the recently built (2013), 7 to 10 storey buildings of the Phase 1A development of the Aylesbury Estate, Arments Court, with the existing horizontal concrete balconies of the Bradenham building on the Aylesbury Estate behind. A number of trees either within the highway boundary or the Estate screen the other buildings in the Estate.

View and Photography Details



Date:	03/08/2014
Time:	13:57:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532515 / N:177655.093
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 14 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

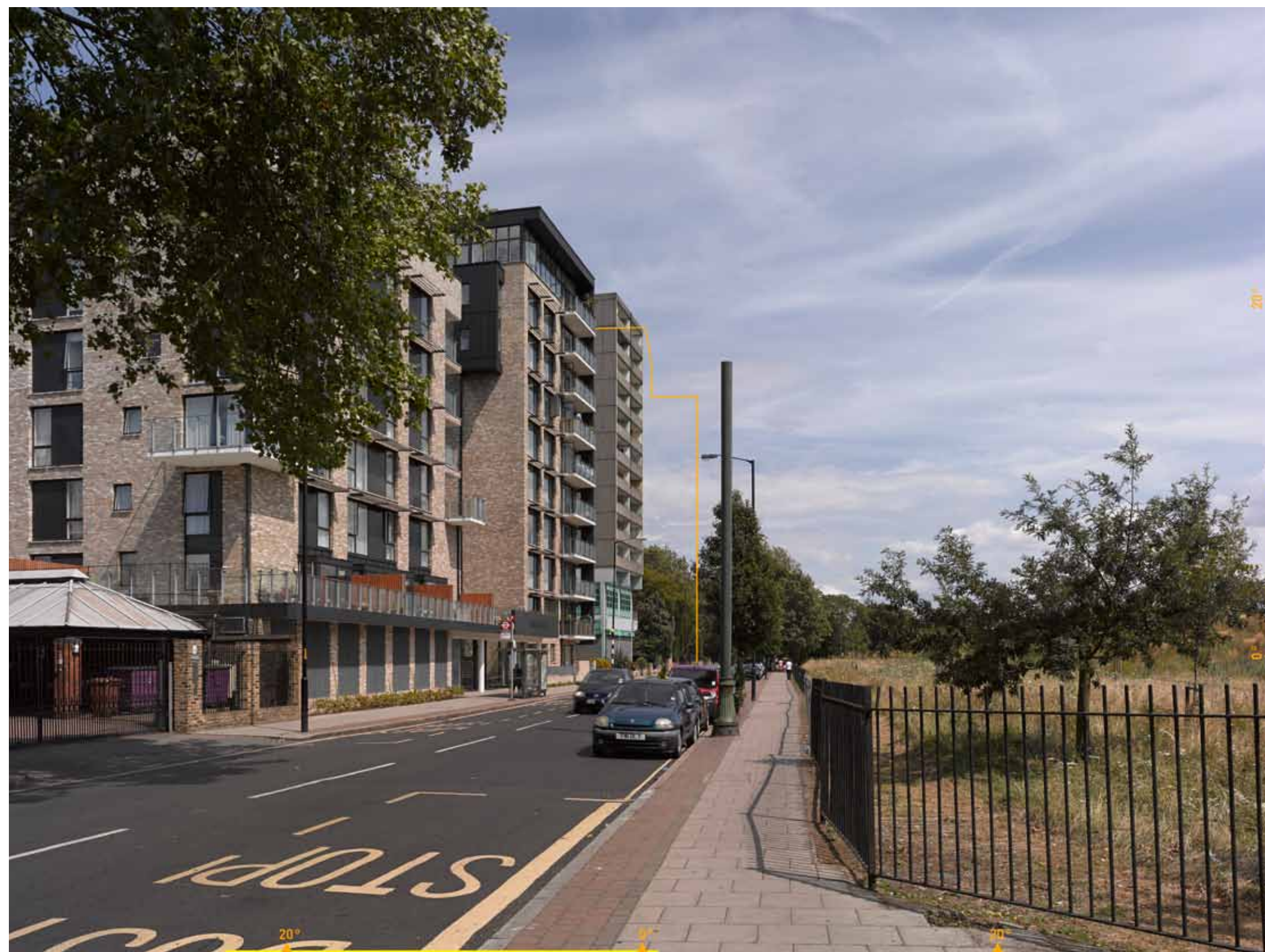
- 7.211 Only the FDS (orange) can be seen of the proposed development in the view from Albany Road. The recently completed Site 1A buildings in the foreground screen most of the proposed development. Some of the existing trees may screen part of the proposed buildings in the background.
- 7.212 Two of the FDS buildings can be seen in the wireline. The proposed building adjacent to the Site 1A building is in the same alignment as the existing building and is slightly lower in height. The second proposed building appears to be closer to Albany Road due to the angle of the view. The use of brick as the predominant material of the proposed buildings will ensure the proposed buildings form a composition with the Site 1A building to create a strong urban edge to Albany Road.
- 7.213 The view is a *Partial View*. The development will have a negligible to minor visual impact on the existing view as the Albany Road receptors have low sensitivity and the magnitude of change will be minor as most of the proposed buildings are screened from view. The significance of the effect will be negligible as the height and massing of the development is similar to the existing Bradenham building from this angle.



VIEW 14 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

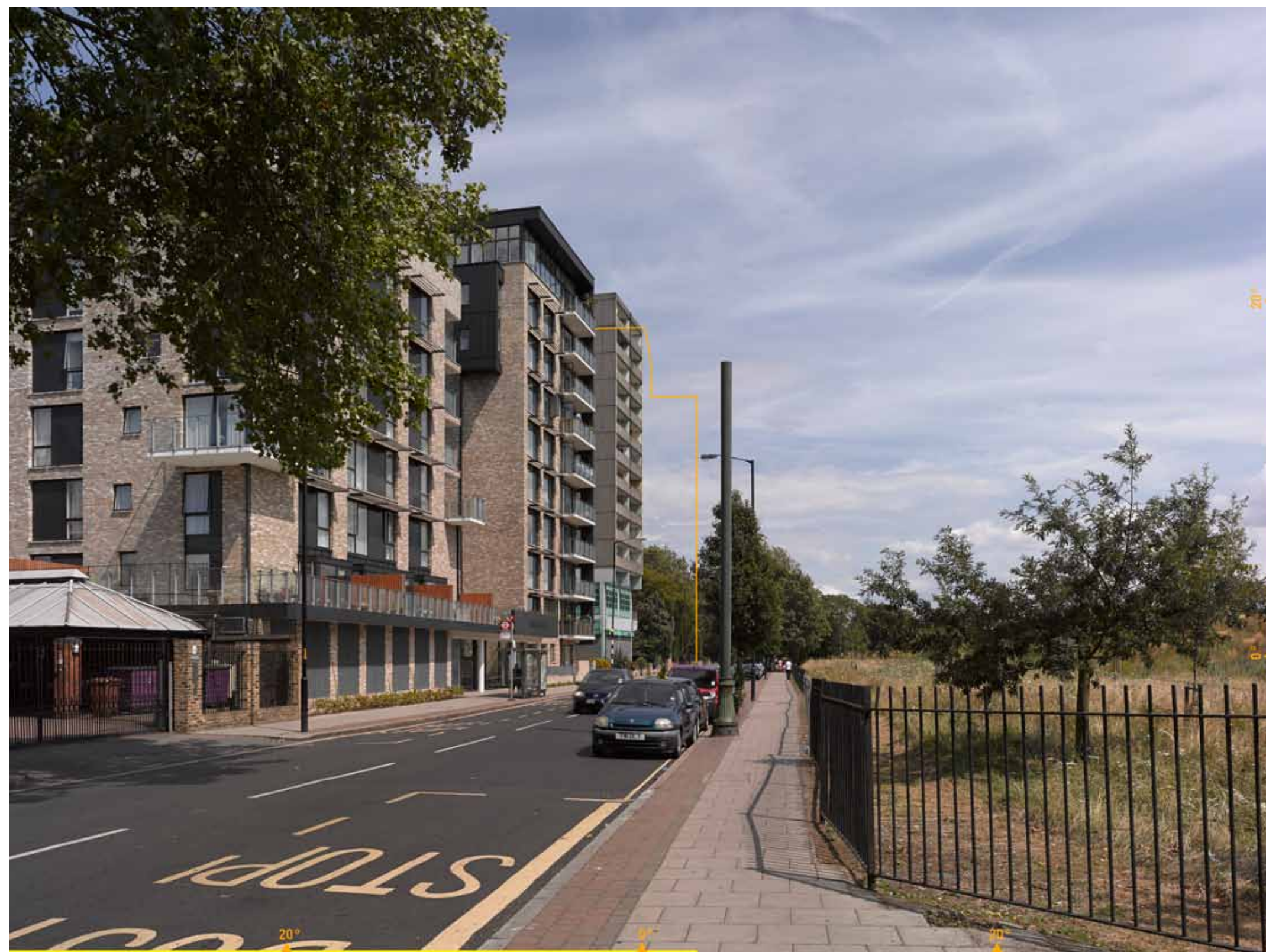
7.214 As the Masterplan development cannot be seen in the view, the impact of the view has not changed with the maximum parameters. Therefore, the development will have a negligible to minor visual impact on the existing view as the Albany Road receptors have low sensitivity and the magnitude of change will be minor. The significance of the effect will be negligible.



VIEW 14 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.215 The proposed First Development Site within this view has not changed from the site wide minimum and maximum parameter views. Therefore, the development will have a negligible to minor visual impact on the existing view as the Albany Road receptors have low sensitivity and the magnitude of change will be minor. The significance of the effect will be negligible.



VIEW 14 - CUMULATIVE SCHEMES

Description of Proposed View:

7.216 No cumulative schemes can be seen in this view so they will not effect the impact of the development.

VIEW 15
Portland Street at northern edge of Michael Faraday School looking south



VIEW 15: Existing

Description of Existing View:

- 7.217 The view is taken from the eastern footpath of Portland Street, opposite the junction with Sondes Street at northern edge of Michael Faraday School, looking south.
- 7.218 Portland Street is a two-way residential street with parking on its west side. Michael Faraday School to the left of the view is a newly re-built primary school. The round, faceted, coloured, contemporary facade, paved entrance court and mature tree planting of the school contrasts strongly with the two storey brick terraced houses with pitched roofs on the right side of the view. The Grade II listed houses form the southern end of the Liverpool Grove Conservation Area.
- 7.219 Only the Chiltern building on the western side of Portland Street can be seen of the Aylesbury Estate in this view.

7.220 Existing trees within the school grounds, existing Plane trees on the eastern side of Portland Street adjacent the Chiltern building, and other more recent street tree planting on Portland Street provide softening to the streetscape and screen part of the Chiltern building. However, the buildings' grey, horizontal slab form dominates the view.

View and Photography Details

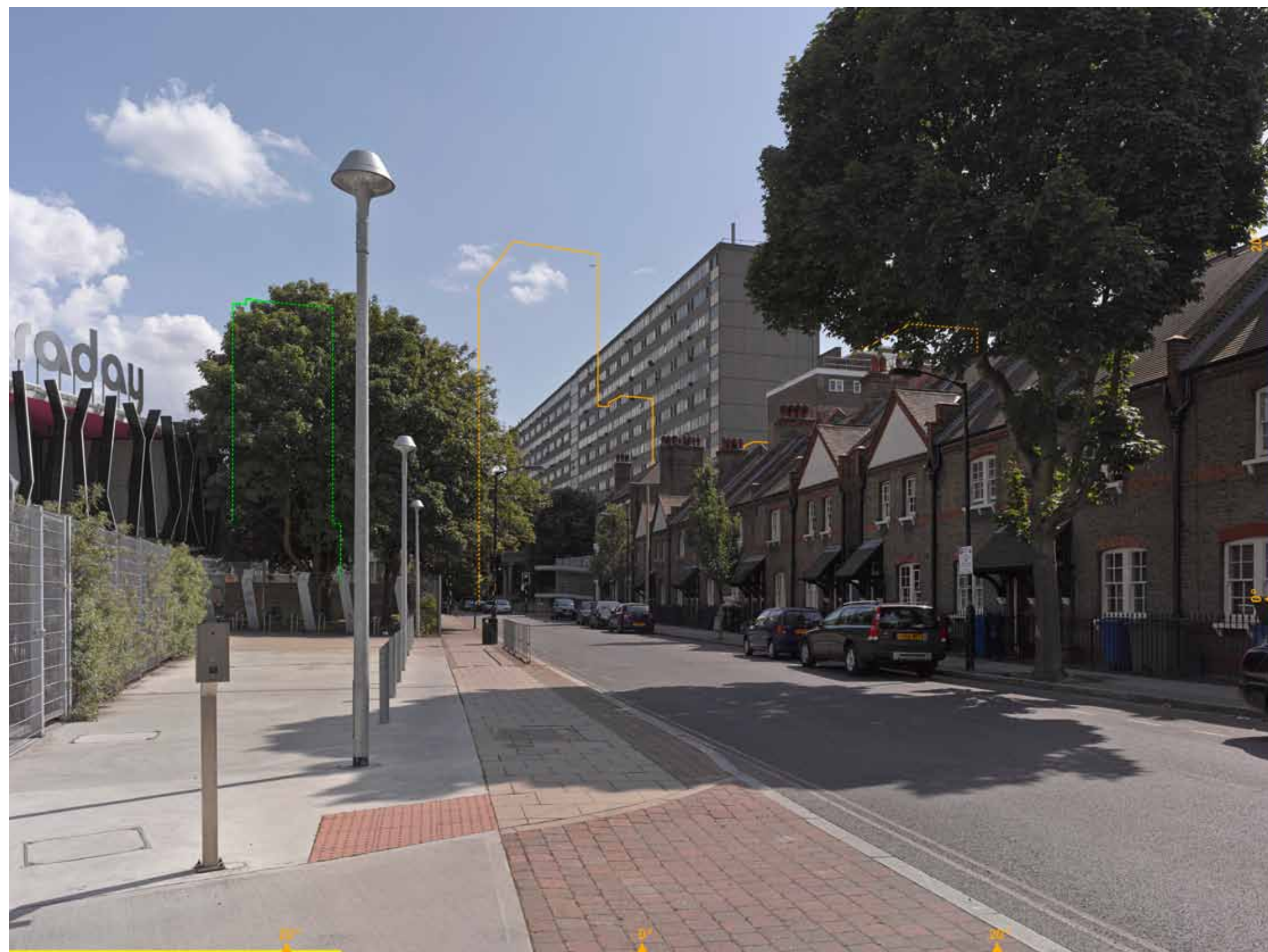


Date:	03/08/2014
Time:	15:01:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532782.928 / N:177987.466
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 15 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

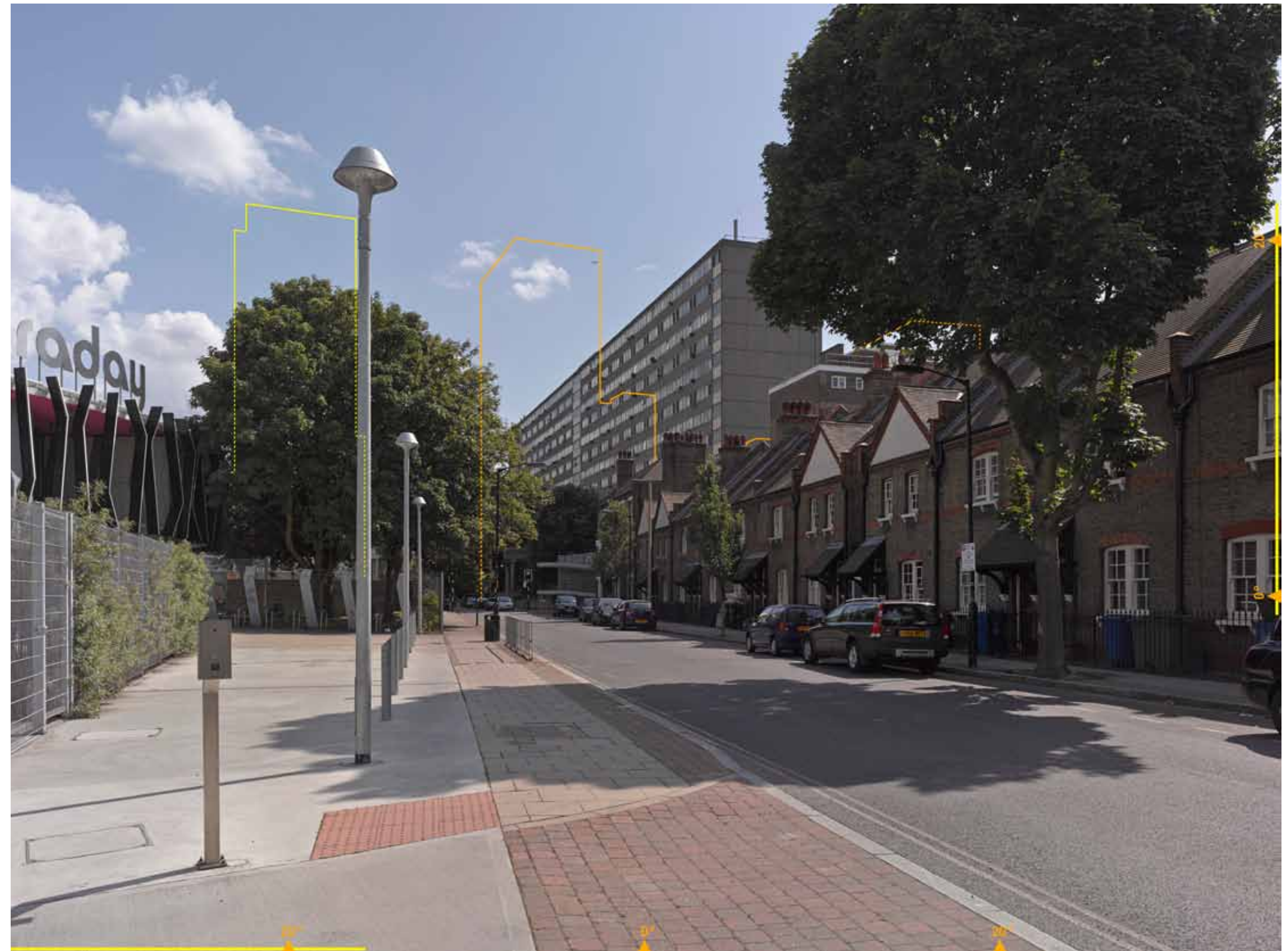
- 7.221 The proposed development built to minimum parameters can be seen in the centre of the view in the mid ground. The proposed Masterplan development (green) is almost entirely screened by existing vegetation adjacent to Michael Faraday School which will be retained. The lower portions of the FDS (orange) are also obscured by existing trees and buildings.
- 7.222 The Landmark Towers at the junction of Albany Road and Portland Street are the taller elements in the centre of this view. The reduced width of the proposed towers contrasts strongly with the slab character of the existing Chiltern building and will reduce the dominance of the built form adjacent to Aycliffe House and the other buildings within the Liverpool Grove Conservation Area on the right side of the view.
- 7.223 A proposed FDS building is taller than the roofline of the existing houses on the right of the view although the existing tree filter the view and minimises the impact on the setting of the houses. Only the tip of the tower of the Masterplan development can be seen above the existing tree on the left side of the view.
- 7.224 In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees, particularly of the tower to the left of Portland Street, but this would not significantly affect the character or quality of the view.
- 7.225 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the residential receptors have a high sensitivity and the magnitude of change will be moderate as the changes will be readily noticeable but would not change the overall perception of the view. The significance of the effect will be minor beneficial as the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.



VIEW 15 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.226 The increased height of the proposed Masterplan tower on the left side of the view ensures the building can now be seen above the existing tree. The increased height allows the buildings to form a gateway composition at the termination of Portland Street. The FDS buildings have not changed from the minimum parameter view.
- 7.227 In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees, particularly of the tower to the left of Portland Street, but this would not significantly affect the character or quality of the view.
- 7.228 The view is a *Partial View*. The development will have a major visual impact on the existing view as the residential receptors have a high sensitivity and the magnitude of change will be major as the increased height of the proposed tower will alter the overall perception of the view. The significance of the effect will be minor beneficial as the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view and the setting of the buildings within the conservation area.



VIEW 15 - FIRST DEVELOPMENT SITE

Description of Proposed View:

- 7.229 The proposed First Development Site can be seen in the centre of the view and above the houses on the right. The lower portions of the proposed buildings are screened by existing trees and buildings.
- 7.230 The Landmark Tower at the junction of Albany Road and Portland Street is the taller element in the centre of this view. The reduced width of the proposed tower contrasts strongly with the slab character of the existing Chiltern Building and will reduce the dominance of the built form adjacent to Aycliffe House and the other buildings within the Liverpool Grove Conservation Area on the right side of the view.
- 7.231 A proposed FDS building is taller than the roofline of the existing houses although the existing tree filter the view and minimises the impact on the setting of the houses. In winter when the trees are not in leaf there may be glimpsed views of the buildings through the trees but this would not significantly affect the character or quality of the view.
- 7.232 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the residential receptors have a high sensitivity and the magnitude of change will be moderate as the changes will be readily noticeable but would not change the overall perception of the view. The significance of the effect will be moderate beneficial as the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.



VIEW 15 - FIRST DEVELOPMENT SITE ILLUSTRATIVE VIEW

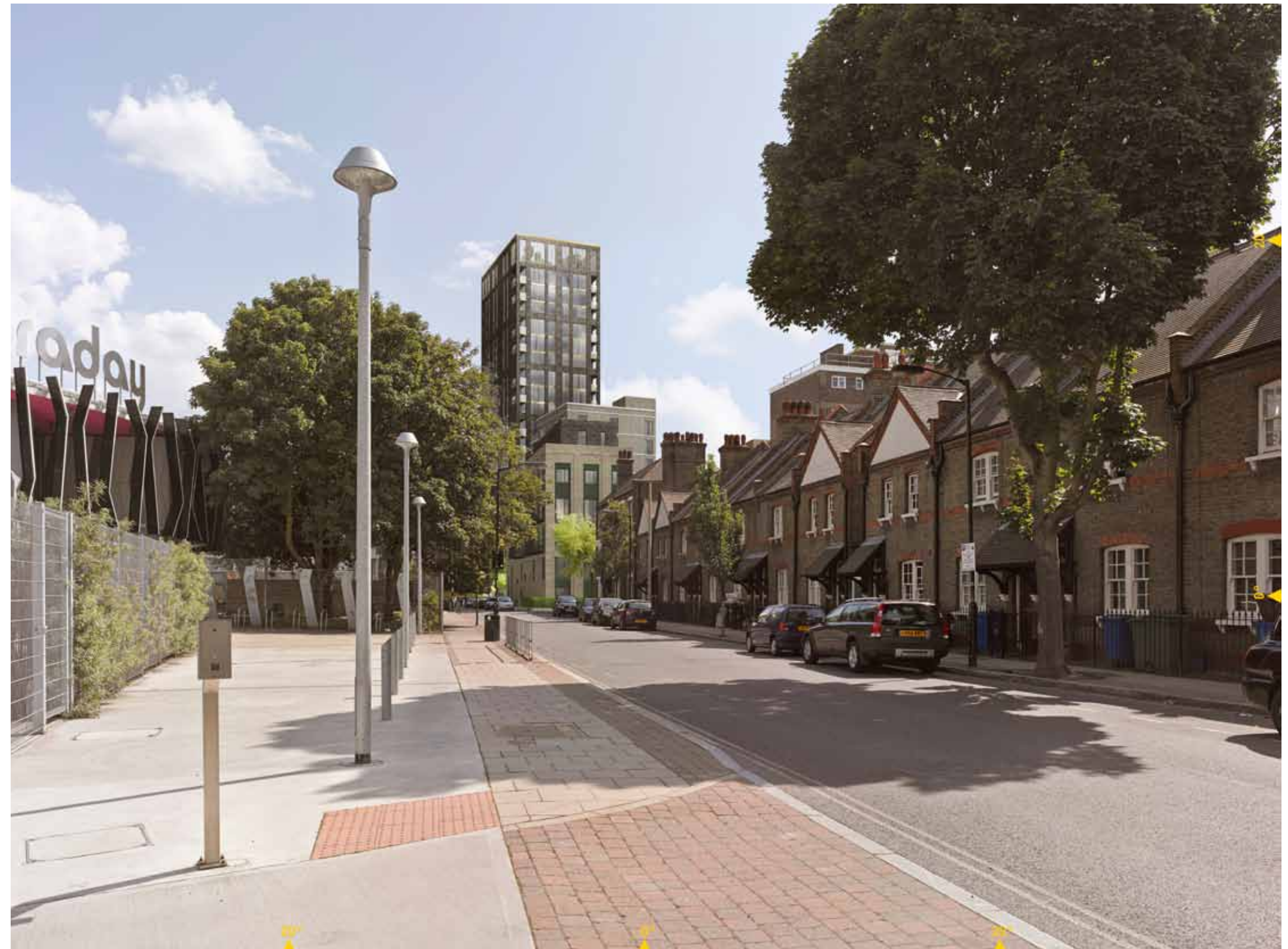
Description of Proposed View:

7.233 The illustrative view shows how the built form of the proposals gradually step up in mass from the Conservation Area, creating a visual and physical separation between the Conservation Area and the tallest element. The massing changes in scale from a smaller five storey block with a set back top floor, up to the larger mass of the 10 and 20 storey tower.

7.234 As described in Illustrative View 11, the tower follows established principles for the design of tall buildings with a clearly defined based, body and crown that is visible in this view, creating visual interest and avoiding the building being perceived as overbearing.

7.235 The top of the tower has been designed to enclose the residents' roof terrace with a full height screen that also hides the lift overrun and access to the terrace. This approach has been a direct response to assessing the appearance of the tower in all views to ensure that each elevation presents a considered facade that can be seen in different views. This can also be appreciated in this view where the 'rear' courtyard facing flank of the building is clearly seen, showing how the design has been considered 'in the round' with the same elevational material being applied to each facade of the tower.

7.236 The depth of Block 3B adjacent to Ayrncliffe House is similar to the existing mansion block so the mass negotiates the change in scale from it to the tower blocks on the park edge. The brickwork style and the green glazed brick on Block 3 have been used to relate to the Conservation Area.



VIEW 15 - CUMULATIVE SCHEMES

Description of Proposed View:

7.237 No cumulative schemes can be seen in this view so they will not affect the impact of the development.

VIEW 16
Liverpool Grove in front of Grade 1 listed Church of St Peter's, looking east



VIEW 16: Existing

Description of Existing View:

- 7.238 This view has been chosen to assess the impact of the development on the Grade 1 listed Church of St Peter's, the Grade II listed terraced houses on Liverpool Grove, and the Liverpool Grove Conservation Area.
- 7.239 The view has been taken near the western end of Liverpool Grove, in front of the Grade I listed St Peter's Church. The view looks east-southeast towards the Aylesbury Estate.
- 7.240 The Church of St Peter's was built in 1823-1825 by Sir John Soane. Its classical facade is yellow stock brick with stone details. The front facade, shown in this view, has classical columns and steeple with clock and weather vane. Large Plane trees planted within the church grounds dominate the right side of the view, screening the buildings along Liverpool Grove.
- 7.241 Liverpool Grove is a narrow residential street with parking on both sides. The road is blocked to traffic to the right of the view. Yellow brick, two storey Grade II listed houses line the southern side of Liverpool Grove, creating a regular, consistent urban edge.
- 7.242 The Aylesbury Estate buildings cannot be seen in the view.

View and Photography Details



Date:	03/08/2014
Time:	14:24:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532473.039 / N:178104.204
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 16 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

- 7.243 The proposed development built to minimum parameters is in the centre of the view but it is entirely screened by the existing buildings.
- 7.244 As the proposed development is a lower height than the listed houses on Liverpool Grove, the development will not affect the setting or significance of the Grade II listed houses on Liverpool Grove, the Grade I listed Church of St Peter's, or the Liverpool Grove conservation area from this view.
- 7.245 The view is a *No View*. The development will have a negligible visual impact on the existing view as the residential receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 16 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.246 The proposed development built to maximum parameters is in the centre of the view but is entirely screened by existing vegetation and buildings.
- 7.247 It is unlikely that the proposed development at maximum parameters will be seen above the listed houses on Liverpool Grove. If the proposed buildings are seen above the houses, the impact will be limited in both summer and winter due to the number of existing mature trees in the foreground.
- 7.248 As with the minimum parameters, the proposed development will not affect the setting or significance of the Grade II listed houses, the Grade I listed Church of St Peter's, or the Liverpool Grove conservation area from this view.
- 7.249 The view is a *No View*. The development will have a negligible visual impact on the existing view as the residential receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 16 - FIRST DEVELOPMENT SITE

Description of Proposed View:

7.250 The proposed First Development Site is located in the bottom right of the view but it is entirely screened by existing buildings. The proposed FDS will not affect the setting or significance of the Grade II listed houses on Liverpool Grove, the Grade I listed Church of St Peter's, or the Liverpool Grove conservation area from this view.

7.251 The view is a *No View*. The development will have a negligible visual impact on the existing view as the residential receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 16 - CUMULATIVE SCHEMES

Description of Proposed View:

7.252 No cumulative schemes can be seen in this view so they will not effect the impact of the development.

VIEW 17
Corner of Aylesbury Road and Brettell Street looking east



VIEW 17: Existing

Description of Existing View:

- 7.253The view is taken on the western corner of Aylesbury Road and Brettell Street junction, looking east along Aylesbury Road.
- 7.254Aylesbury Road is a quiet residential street within the Liverpool Grove Conservation Area. It is mostly lined on both sides by two storey brick terrace houses with pitched roofs. Powerlines divide from one pole to a number of the houses, breaking up the regularity of the street.
- 7.255The brown timber fence on the right side of the view is the boundary of allotments. The mock Tudor, four storey, ex-pub can be seen at the end of the left side of the view, terminating the row of terrace houses.
- 7.256The horizontal, grey slab of the Wendover building of the Aylesbury Estate terminates the view in the background. It is partially screened by tree planting on the eastern side of Dawes Street within the development site. The corner of the Taplow building can be seen above the houses on the left side of the view.

View and Photography Details



Date:	03/08/2014
Time:	14:49:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532810.069 / N:178231.756
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 17- SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

7.257 The proposed development built to minimum parameters can be seen in the centre of the view at the termination of Aylesbury Road. The proposed development is partially screened by existing buildings and vegetation at lower levels. Only the Masterplan development (green) can be seen in the view.

7.258 The view shows the taller building associated with the proposed Aylesbury Square which is design to be a landmark building to identify the square within the wider area and along Thurlow Street. The proposed building appears in the view to be the same height as the existing Taplow Building that can just be seen above the roofline of the houses to the left of the proposed building. The proposed buildings replace the horizontal form of the existing Wendover building with a more vertical form and the variety of heights will create an interesting rhythm and skyline which will add to the richness and variety of this view.

7.259 The view is a *Partial View*. The development will have a moderate to major visual impact on the existing view as the residential receptors have a high sensitivity and the magnitude of change will be moderate. The significance of the effect will be minor beneficial as the varied height and massing will add richness and variety and the removal of the horizontality of the Wendover building will make a noticeable improvement on the existing view.

7.260 The proposed development will not affect the cohesiveness of the conservation area. The new buildings will have a beneficial impact on views from the area and a major beneficial impact at the boundary between the conservation area and the Estate.



VIEW 17 - SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.261 The increase height of the maximum parameter proposal increases the impact of the proposed buildings on the view. However, the removal of the horizontal form of the existing Wendover building with a more vertical form and the variety of heights will add to the richness and variety of this view.
- 7.262 The use of brick as the predominant material within the proposed buildings will also reduce the impact of the proposal as the brick will complement the predominantly brick finish of the conservation area buildings, in contrast to the grey concrete of the existing Estate buildings. The proposed taller building will be a landmark in the development as required by the AAP as it will identify the location of Aylesbury Square, the most important civic space in the development.
- 7.263 As described for the minimum parameters, the proposed development will not affect the cohesiveness of the conservation area and the new buildings will have a beneficial impact on views from the area and a major beneficial impact at the boundary between the conservation area and the Estate.
- 7.264 The view is a *Partial View*. The development will have a major visual impact on the existing view as the residential receptors have a high sensitivity and the magnitude of change will be major as the changes will alter the overall perception of the view. The significance of the effect will be minor beneficial as the varied height and massing will add richness and variety and the removal of the horizontality of the Wendover building will make a noticeable improvement on the existing view and the boundary between the development and the Liverpool Grove conservation area.



VIEW 17 - FDS AND CUMULATIVE SCHEMES

Description of Proposed View:

- 7.265 The FDS or cumulative schemes cannot be seen in this view so they will not effect the view.

VIEW 18
Junction of paths within Nursery Row Park, looking south east



VIEW 18: Existing

Description of Existing View:

7.266The view is taken from the top of the slight rise at the junction of paths near the northern boundary of Nursery Row Park, looking southeast towards the Aylesbury Estate.

7.267Nursery Row Park is a local designated open space. The southern half of the park consists of regular lines of Plane trees in grass with paths connecting to different entrances. A pergola structure and planting is located on the western edge, leading to a small, paved square on East Street, as can be seen on the right edge of the view. Informal play elements and seating are located under the trees. A railing fence surrounds the park.

7.268A relatively recently built area of mounding at the north of the park forms a screen to a carpark as well as a viewing platform. The grass mound is traversed by a series of paths with coloured posts forming sculptural elements on the viewing platform and at the northern entrances.

7.269The park is edge by predominantly five storey, mid twentieth century housing blocks of various styles and brick types (generally red and blonde). East Street, with its popular street market, forms the southern edge of the park, whilst the Stead Street Market Carpark forms its northern edge.

7.270The view is taken from the viewing platform and looks to the southeast towards the northern tip of the development site on the corner of Dawes Street and East Street. The trees within the park screen the view of the buildings surrounding the park as well as any view of the buildings within the Aylesbury Estate.

7.271It is likely that the exisiting Estate buildings will continue to be screened from the view during the winter months when the trees have lost their leaves by the buildings surrounding the park.

View and Photography Details



Date:	06/08/2014
Time:	16:05:00
Weather:	Clear
Height above ground level:	1.600
OS grid coordinates:	E:532617.712 / N:178544.969
Camera:	Alpa Max/Leaf aptus digital back
Lens focal length:	35mm Schneider Apo Digital lens
Horizontal field of view:	66.60

VIEW 18 - SITE WIDE PROPOSED MINIMUM PARAMETERS

Description of Proposed View:

7.272 The proposed development built to minimum parameters is in the centre-right of the view but it is entirely screened by existing vegetation and buildings.

7.273 It is unlikely that the development would be seen above the existing buildings along East Street. If the proposed development can be seen above the existing buildings, there may be glimpsed views of the buildings through the trees in winter when the trees are not in leaf, but this would not significantly affect the character or quality of the view.

7.274 The view is a *No View*. The development will have a negligible visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 18- SITE WIDE PROPOSED MAXIMUM PARAMETERS

Description of Proposed View:

- 7.275 The proposed development built to maximum parameters is entirely screened by existing vegetation and buildings.
- 7.276 Similar to the minimum parameters, it is unlikely that the development would be seen above the existing buildings along East Street. If the proposed development can be seen above the existing buildings, there may be glimpsed views of the buildings through the trees in winter when the trees are not in leaf, but this would not significantly affect the character or quality of the view.
- 7.277 The view is a *No View*. The development will have a negligible visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 18 - SITE WIDE PROPOSED MAXIMUM PARAMETERS AND CUMULATIVES

Description of Proposed View:

7.278 The cumulative schemes (white) are in the centre-right of the view but are entirely screened by existing vegetation and buildings.

7.279 Similar to the minimum and maximum parameter views, it is unlikely that the cumulative schemes will be seen above the existing buildings along East Street and will therefore not change the impact of the proposed development.

7.280 The view is a *No View*. The development will have a negligible visual impact on the existing view as the park receptors have a high sensitivity but the magnitude of change will be negligible as the proposed development cannot be seen in the view. The significance of the effect will be negligible.



VIEW 18 - FDS

Description of Proposed View:

7.281 The FDS cannot be seen in this view so it will not effect the view.

CONCLUSION

- 7.282 The visual assessment of the agreed views of the site wide development and the FDS identifies that, whilst the proposed development will sometimes have a major visual impact, the effect of the development will be a beneficial improvement to the existing views.
- 7.283 The views from Burgess Park show that, although there will be more buildings than existing, the proposed buildings will be an improvement on the existing Estate buildings as the varied height and massing of the proposed buildings will present a consistent building line and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety. The proposed buildings also maintain views of the sky whilst intensifying the amount of scale and massing along the park edge to create a more defined urban edge to the park, as required by the AAP and identified as highly beneficial in the AAP Visual Impact Assessment (2009). The proposed tower buildings have been orientated so that their narrowest elevation faces the park to minimise their impact. Their narrow depth also removes the slab-like character of the existing Estate buildings whose horizontality currently dominates the views from the park.
- 7.284 The illustrative views of the FDS reveal that the elevational design of the towers creates a vertical emphasis with stacking balconies and windows designed to enhance this verticality and the slender appearance of the building. They have also been designed 'in the round' with the same elevational material being applied to each facade of the tower.
- 7.285 As the park users are highly sensitive receptors and the changes to the building quantity, heights and massing along the park edge is either a moderate or major magnitude of change as the changes to the existing view will alter (in most cases) the overall perception of the view, the visual impact of the development is moderate to major or major from the views within the park for both the site wide development and the FDS options. However, due to the reasons identified above, the significance of the effect of the development for both the site wide development and the FDS options will be minor or moderately beneficial.
- 7.286 The visual assessment of proposed development from the north and east of the Masterplan site revealed that the proposed buildings will be in the same or similar silhouettes as the existing Estate buildings, creating a minor to moderate visual impact and moderate to major beneficial effect.
- 7.287 The taller building proposed for Aylesbury Square along Thurlow Street is the only building within the centre of the Masterplan development that is taller than the existing. However, this is necessary for the building to be a local landmark in the development as required by the AAP so it will identify the location of Aylesbury Square, the most important civic space in the development. Similar to the taller buildings along the park edge, the Aylesbury Square building will have a moderate to major and major visual impact as the residential receptors within the adjacent Liverpool Grove conservation area have high sensitivity and the proposed development will be a moderate or major change from the existing that will alter the overall perception of the view. However, the effect of the development will be minor beneficial as the varied height and massing will add richness and variety and the removal of the horizontality of the existing Wendover Estate building will make a noticeable improvement on the existing view. Also, the use of brick as the predominant material in the proposed buildings will add richness and variety and improve the boundary between the Estate and the Liverpool Grove conservation area.
- 7.288 The views from Burgess Park adjacent the Addington Square and Coburg Road conservation areas and the listed buildings within those conservation areas and along Wells Way and within the park identify that the proposed site wide development and the FDS will improve the settings of the listed buildings and conservation areas. Similarly, the setting of Liverpool Grove conservation area and the listed buildings on Surrey Square will be improved by the development, particularly as the proposed development will improve the boundary between the conservation area and development site. The view adjacent to the Grade I listed Church of St Peter's identifies that the church will not be affected by the development as both the site wide development and the FDS cannot be seen in the view. The significance of the all the heritage asset surrounding the proposed development will not be affected by the proposed development.

SUMMARY OF VISUAL EFFECTS

Site Wide Development Option

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
A. LVMF 1A.1 Alexandra Palace	Minimum Parameters	Only one or two buildings of the proposed development can be seen as most of the development is screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London. Where it can be seen, the development is a lower scale and is visually nestled in with the existing cluster of tall buildings in the City and South London.	High	Negligible	Negligible	Negligible
	Maximum Parameters	A couple more buildings may be seen than the minimum parameter, but the majority are still screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London. Where it can be seen, the maximum parameter development is also a lower scale and is visually nestled in with the existing cluster of tall buildings in the City and South London.	High	Negligible	Negligible	Negligible
	Max + cumulatives	The cumulative schemes are taller than the proposed development and will increase the number of buildings that can be seen near the Strata building at Elephant and Castle. These buildings and the City cluster draw the eye away from the proposed development.	High	Negligible	Negligible	Negligible
01. Flint Street, looking southeast down Thurlow Street	Minimum Parameters	The arrangement of the new buildings will create a coherent yet varied built form which will be a marked improvement on the streetscape.	Low	Moderate	Minor	Major beneficial
	Maximum Parameters	The arrangement of the new buildings will create a coherent yet varied built form which will be a noticeable improvement on the streetscape and the proposed building typologies and materials will be more consistent with the surrounding townscape character than the existing Estate buildings.	Low	Major	Minor to moderate	Moderate beneficial
	Max + cumulatives	The combination of the Site 07 and proposed development buildings will frame both sides of Thurlow Street to create a strong urban form to this important thoroughfare.	Low	Major	Minor to moderate	Moderate beneficial
02. Surrey Square looking southwest	Minimum Parameters	The removal of the existing slab block buildings will allow views into the proposed development, increasing the distance of the view and reducing the feeling of enclosure created by the existing buildings.	High	Minor	Minor to moderate	Major beneficial
	Maximum Parameters	The removal of the existing slab block buildings will allow views into the proposed development, increasing the distance of the view and reducing the feeling of enclosure created by the existing buildings.	High	Minor	Minor to moderate	Major beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Minor	Minor to moderate	Major beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
03. Smyk's Road looking southwest	Minimum Parameters	The proposed buildings at minimum parameters are considerably shorter than the existing buildings of the Aylesbury Estate and will improve the view from Smyk's Road.	High	Minor	Minor to moderate	Major beneficial
	Maximum Parameters	The proposed buildings at maximum parameters are of a similar height to the existing estate building, Ravenstone, but shorter than the Wendover building behind. The reduced height of the proposed buildings terminating the view will be a noticeable improvement on the view.	High	Minor	Minor to moderate	Moderate beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Minor	Minor to moderate	Moderate beneficial
04. Eastern end of Albany Road	Minimum Parameters	The proposed Landmark Towers proposed at the junction of Albany Road/Thurlow Street are taller than the existing Wendover block but the varied height and massing and the use of brick in the proposed buildings will marry the development into the streetscape and the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.	Low	Moderate	Minor	Moderate beneficial
	Maximum Parameters	The variation in height and massing and the use of brick in the proposed buildings will marry the development into the streetscape and the removal of the horizontality of the existing Estate building will make a discernible improvement on the existing view.	Low	Major	Minor to moderate	Minor beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	Low	Major	Minor to moderate	Minor beneficial
05. Cobourg Road, looking west over the lake in Burgess Park	Minimum Parameters	The proposed development is taller than the existing Aylebury Estate blocks in this view but their varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate buildings will make a noticeable improvement to the existing view.	High	Moderate	Moderate to major	Moderate beneficial
	Maximum Parameters	The increased heights of the proposed buildings mean that more buildings will be seen above the tree-line from this viewpoint. However, the varied height and massing of the proposed buildings will create a coherent skyline to the park and the removal of the horizontality of the existing Estate buildings will make a discernible improvement to the existing view.	High	Major	Major	Minor beneficial
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	High	Major	Major	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
07. Burgess Park bridge looking west	Minimum Parameters	The proposed development is taller than the existing Aylebury Estate blocks in this view but their varied height and massing will create a coherent skyline to the park and the removal of the horizontality of the existing Estate buildings will make a noticeable improvement on the existing view.	High	Moderate	Moderate to major	Minor beneficial
	Maximum Parameters	Although the proposed maximum parameters increase the heights of the proposed buildings, the effect of the increased height on the view is negligible from the minimum parameters.	High	Moderate	Moderate to major	Minor beneficial
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	High	Moderate	Moderate to major	Minor beneficial
08. Top of mound in centre of Burgess Park, looking northwest towards Thurlow Street	Minimum Parameters	The Landmark Towers proposed at the junction of Albany Road/Thurlow Street will create a dramatic gateway to Thurlow Street, complementing The Shard to the right of the view. The reduced depth of the proposed buildings will also contain the built form to the Park Edge, in contrast to the slab character of the existing Wendover Building that extends into the Estate.	High	Moderate	Moderate to major	Minor beneficial
	Maximum Parameters	The increased heights of the maximum parameters reveals more of the proposed Park Edge buildings above the tree-line in this view. However, similar to the minimum parameter view, the proposed development will present a consistent building line to the park and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety of this view.	High	Major	Major	Minor beneficial
	Max + cumulatives	As the cumulative scheme can only just be seen above the proposed development, the impact of the proposed development will not change.	High	Major	Major	Minor beneficial
09. East of the Almhouses in Burgess Park, looking west	Minimum Parameters	The proposed buildings increase the quantity of built form within this view but the varied height and massing of the proposed buildings creates a consistent and interesting rhythm along the park which will add to the richness and variety of this view.	High	Major	Major	Minor beneficial
	Maximum Parameters	The increased height of the maximum parameters increases the dominance of the proposed buildings within the view. However, this will be compensated by the provision of a coherent and varied skyline.	High	Major	Major	Minor beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Major	Major	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
10. Canal Bridge on Wells Way, looking north	Minimum Parameters	The proposed buildings are well proportioned with the existing Grade II listed office building on the east side of Well's Way.	Low	Moderate	Minor	Minor beneficial
	Maximum Parameters	The maximum parameters increases the height of the proposed buildings at the end of Well's Way that can be seen in this view but the buildings are still in good proportion with the listed office building and the proposed brick material will complement the brick facade of this existing building.	Low	Major	Minor to moderate	Minor beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	Low	Major	Minor to moderate	Minor beneficial
11. Southwest of the lime kiln in Burgess Park, looking north towards Portland Street	Minimum Parameters	The Landmark Towers proposed at the junction of Albany Road and Portland Street will create a dramatic gateway effect to Portland Street, emphasising the location of this important north-south street. The reduced depth of the proposed towers contains the taller elements to the Park Edge, in contrast to the slab character of the existing Chiltern Building that extends into the site. The varied height and massing of the development will create a coherent skyline and a strong urban character to the park.	High	Moderate	Moderate to major	Minor beneficial
	Maximum Parameters	The increase in the height of the Masterplan buildings at their maximum parameters improves the composition of the buildings as an urban edge but does increase the impact of the buildings as more of the buildings will be seen. The view of The Shard is blocked by the proposed buildings in this view.	High	Major	Major	Minor beneficial
	Max + cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Major	Major	Minor beneficial
12. Burgess Park looking north towards the First Development Site	Minimum Parameters	The proposed buildings range in height and massing across the view, creating a varied urban form than the two existing slab buildings that currently bookend the view. The proposed development responds well to the newly built Site 1A building on the left edge of the view.	High	Major	Major	Minor beneficial
	Maximum Parameters	As the masterplan building that has increased in height can only partially be seen in the view, the impact of the view is unchanged from the minimum parameter view.	High	Major	Major	Minor beneficial
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	High	Major	Major	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
13. Addington Square looking north towards the First Development Site	Minimum Parameters	The massing of buildings seen from this viewpoint is increase but, as the development is in the background, the existing trees and features of Burgess Park will reduce the impact of the development and the use of brick as the predominant material in the proposed buildings will complement the brick facades of the listed buildings.	High	Major	Major	Minor beneficial
	Maximum Parameters	As the Masterplan development cannot be seen in the view, the impact of the view has not changed with the maximum parameters.	High	Major	Major	Minor beneficial
	Max + cumulatives	The two cumulative schemes on the left edge of the view are screened by vegetation and so will not affect the impact of the proposed development.	High	Major	Major	Minor beneficial
14. Western end of Albany Road looking east	Minimum Parameters	Only the FDS can be seen of the proposed development in the view from Albany Road. The proposed buildings form a composition with the Site 1A building to create a strong urban edge to Albany Road.	Low	Minor	Negligible to minor	Negligible
	Maximum Parameters	As the Masterplan development cannot be seen in the view, the impact of the view has not changed with the maximum parameters.	Low	Minor	Negligible to minor	Negligible
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	Low	Minor	Negligible to minor	Negligible
15. Portland Street looking south	Minimum Parameters	The reduced width of the proposed towers contrasts strongly with the slab character of the existing Chiltern Building and will reduce the dominance of the built form adjacent to Aycliffe House and the other buildings within the Liverpool Grove Conservation Area on the right side of the view.	High	Moderate	Moderate to major	Minor beneficial
	Maximum Parameters	The increased height of the proposed Masterplan tower on the left side of the view ensures the building can now be seen above the existing tree. The reduced depth of the proposed buildings improves the setting of the buildings within the conservation area.	High	Major	Major	Minor beneficial
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	High	Major	Major	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
16. Liverpool Grove in front of Grade I listed Church of St Peter's, looking east	Minimum Parameters	The proposed development built to minimum parameters is entirely screened by existing buildings.	High	Negligible	Negligible	Negligible
	Maximum Parameters	The proposed development built to maximum parameters is entirely screened by existing vegetation and buildings.	High	Negligible	Negligible	Negligible
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development does not change.	High	Negligible	Negligible	Negligible
17. Corner of Aylesbury Road and Brettell Street looking east	Minimum Parameters	The view shows the taller building associated with the proposed Aylesbury Square. The varied height and massing will add richness and variety and the removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view.	High	Moderate	Moderate to major	Minor beneficial
	Maximum Parameters	The increase height of the maximum parameter proposals increases the impact of the proposed buildings on the view. However, the use of brick as the predominant material in the proposed buildings will add richness and variety. The removal of the horizontality of the existing Estate building will make a noticeable improvement on the existing view and improve the boundary between the Estate and the Liverpool Grove conservation area.	High	Major	Major	Minor beneficial
	Max + cumulatives	As the cumulative schemes cannot be seen in the view, the impact of the proposed development will not change.	High	Major	Major	Minor beneficial
18. Junction of paths within Nursery Row Park, looking south east	Minimum Parameters	The proposed development built to minimum parameters is entirely screened by existing vegetation and buildings.	High	Negligible	Negligible	Negligible
	Maximum Parameters	The proposed development built to maximum parameters is entirely screened by existing vegetation and buildings.	High	Negligible	Negligible	Negligible
	Max + cumulatives	The cumulative schemes are entirely screened by existing vegetation and existing buildings.	High	Negligible	Negligible	Negligible

SUMMARY OF VISUAL EFFECTS

FDS Only Development Option

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
A. LVMF 1A.1 Alexandra Palace	FDS only	The proposed buildings are screened by the ridgeline and ridgeline vegetation within the Crouch Hill / Finsbury Park area of North London.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	The cumulative schemes are taller than the proposed development and will increase the number of buildings that can be seen near the Strata building at Elephant and Castle. These buildings and the City cluster draw the eye away from the proposed development.	High	Negligible	Negligible	Negligible
01. Flint Street, looking southeast down Thurlow Street	FDS only	The proposed First Development Site cannot be seen in the view from Flint Street.	Low	Negligible	Negligible	Negligible
	FDS and cumulatives	The FDS cannot be seen in this view so the impact of the FDS on the view will not change.	Low	Negligible	Negligible	Negligible
02. Surrey Square looking southwest	FDS only	The proposed First Development Site cannot be seen in the view along Surrey Square.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the view will not change.	High	Negligible	Negligible	Negligible
03. Smyk’s Road looking southwest	FDS only	The proposed First Development Site cannot be seen in the view along Smyk’s Road.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the view will not change.	High	Negligible	Negligible	Negligible
04. Eastern end of Albany Road	FDS only	The proposed development is almost fully screend by existing trees which will remain along Albany Road.	Low	Minor	Negligible to minor	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	Low	Minor	Negligible to minor	Negligible
05. Cobourg Road, looking west over the lake in Burgess Park	FDS only	The proposed development is taller than the existing Aylebury Estate blocks in this view but the reduced depth of the proposed buildings will reduce the impact of the horizontality of the built form on the park.	High	Minor	Minor to moderate	Minor beneficial
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Minor	Minor to moderate	Minor beneficial
07. Burgess Park bridge looking west	FDS only	The proposed development is taller than the existing Aylebury Estate blocks in this view but the removal of the horizontality of the existing buildings will make a discernible improvement on the existing view.	High	Minor	Minor to moderate	Minor beneficial
	FDS and cumulatives	As the cumulative schemes are not in proximity to the FDS and can barely be seen within the view, the impact of the proposed development will not change.	High	Minor	Minor to moderate	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
08. Top of mound in centre of Burgess Park, looking northwest towards Thurlow Street	FDS only	The FDS cannot be seen in this view so it will not effect the view.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	The FDS cannot be seen in this view so the cumulatives will not effect the impact of the development.	High	Negligible	Negligible	Negligible
09. East of the Almhouses in Burgess Park, looking west	FDS only	The proposed buildings replace the existing slab-like Chiltern block with buildings of varied height and massing that will make a noticeable improvement to the existing view.	High	Moderate	Moderate to major	Moderate beneficial
	FDS and cumulatives	As the cumulative schemes are not in proximity to the FDS, the impact of the proposed development will not change.	High	Moderate	Moderate to major	Moderate beneficial
10. Canal Bridge on Wells Way, looking north	FDS only	The proposed First Development Site cannot be seen in the view from Well's Way.	Low	Negligible	Negligible	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the view will not change.	Low	Negligible	Negligible	Negligible
11. Southwest of the lime kiln in Burgess Park, looking north towards Portland Street	FDS only	The Landmark Tower proposed at the junction of Albany Road and Portland Street is taller than the existing Chiltern block in this view but its reduced depth will reduce the built form dominance in the view in comparison to the existing Chiltern Building.	High	Moderate	Moderate to major	Minor beneficial
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Moderate	Moderate to major	Minor beneficial
12. Burgess Park looking north towards the First Development Site	FDS only	The proposed buildings range in height and massing across the view, creating a varied urban form than the two existing slab buildings that currently bookend the view. The proposed development responds well to the newly built Site 1A building on the left edge of the view.	High	Major	Major	Minor beneficial
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Major	Major	Minor beneficial

VIEW		DESCRIPTION OF LIKELY SIGNIFICANT EFFECT	SENSITIVITY TO CHANGE	MAGNITUDE OF CHANGE	VISUAL IMPACT	SIGNIFICANCE OF EFFECTS
13. Addington Square looking north towards the First Development Site	FDS only	The massing of buildings seen from this viewpoint is increase but, as the development is in the background, the existing trees and features of Burgess Park will reduce the impact of the development and the use of brick as the predominant material in the proposed buildings will complement the brick facade of the listed buildings.	High	Major	Major	Minor beneficial
	FDS and cumulatives	The two cumulative schemes on the left edge of the view are screened by vegetation and so will not affect the impact of the proposed development.	High	Major	Major	Minor beneficial
14. Western end of Albany Road looking east	FDS only	The proposed buildings form a composition with the Site 1A building to create a strong urban edge to Albany Road.	Low	Minor	Negligible to minor	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	Low	Minor	Negligible to minor	Negligible
15. Portland Street looking south	FDS only	The reduced width of the proposed tower contrasts strongly with the slab character of the existing Chiltern Building and will reduce the dominance of the built form adjacent to Aycliffe House and the other buildings within the Liverpool Grove Conservation Area on the right side of the view.	High	Moderate	Moderate to major	Moderate beneficial
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development will not change.	High	Moderate	Moderate to major	Moderate beneficial
16. Liverpool Grove in front of Grade I listed Church of St Peter's, looking east	FDS only	The proposed development is entirely screened by existing vegetation and buildings.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the effect of the development does not change.	High	Negligible	Negligible	Negligible
17. Corner of Aylesbury Road and Brettell Street looking east	FDS only	The proposed First Development Site cannot be seen in the view from Aylesbury Road.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	No cumulative schemes can be seen in this view so the view will not change.	High	Negligible	Negligible	Negligible
18. Junction of paths within Nursery Row Park, looking south east	FDS only	The proposed First Development Site cannot be seen in the view.	High	Negligible	Negligible	Negligible
	FDS and cumulatives	The proposed First Development Site cannot be seen in the view and the cumulative schemes are entirely screened by existing vegetation and buildings.	High	Negligible	Negligible	Negligible

8.0 ASSESSMENT OF EFFECTS: TALL BUILDINGS

INTRODUCTION

- 8.1 Previous sections of this chapter illustrated the impact of the proposals for Aylesbury Estate on built heritage, townscape and verified views. This section assesses the impact of tall buildings proposed on the site, both in terms of immediate impact and cumulative impact, with tall buildings impact assessed in the First Development Site as a start, followed by tall building proposals in the outline masterplan.
- 8.2 As a baseline, it is assumed that the overall sustainability and environmental impact of tall buildings indicated within the Aylesbury Area Action Plan (2010) has been assessed. This chapter therefore discusses diversions in the detailed and outline masterplanning proposals from this policy guidance. Paragraph 0.2.6 of the Sustainability Appraisal for the Aylesbury Area Action Plan (May, 2009) states:
- 8.3 “Redevelopment of the estate will have overwhelmingly positive impacts on the physical appearance of the area and the quality of the townscape. Existing buildings are monotonous, frequently inhuman in scale and serve to overshadow neighbours. The AAP policies seek to create an environment which is based around solid principles of urban design. Small blocks will help people move around the area more easily and safely. Taller buildings are located away from existing development around the estate and maximise views over open spaces. Lower buildings in the majority of the area will ensure that new development respects the scale of development in surrounding areas, and particularly in conservation areas”.
- 8.4 Tall buildings can add richness to the urban environment. Well designed and carefully thought through proposals for tall buildings can mitigate any potential negative effects of intrusion through delivering positive effects, such as enhancing social interaction or providing active frontages.
- 8.5 The intensification of large parts of London is becoming more of a reality as a result of an acute need for more housing. Paragraph 7.25 of the London Plan (2011) notes that: “Whilst high density does not need to imply high rise, tall and large buildings can form part of a strategic approach to meeting the regeneration and economic development goals laid out in the London Plan, particularly in order to make optimal use of the capacity of sites with high levels of public transport accessibility. However, they can also have a significant detrimental impact on local character. Therefore, they should be resisted in areas that will be particularly sensitive to their impacts and only be considered if they are the most appropriate way to achieve the optimum density in highly accessible locations, are able to enhance the qualities of their immediate and wider settings, or if they make a significant contribution to local regeneration”.
- 8.6 The tall building assessment involved the following steps:
- The definition of a tall building
 - Identifying proposed tall buildings within the proposed development by reviewing policy guidelines, including buildings proposed taller than that approved by the Aylesbury AAP
 - Assessing the impact of proposed tall buildings, in particular whether they will have a similar or greater impact on the townscape, firstly in the First Development Site, followed by the Outline Masterplanning proposals.
 - Assessing the impact of the development proposals on the London Strategic View Management Framework.
- 8.7 The London View Management Framework SPG identifies six view panoramas. The Aylesbury Estate is within the southern extent of the panorama view from Alexandra Palace. Although two assessment points are identified in the LVMF SPG, point 1A.1 represents the best position to see the wider panorama and, due to trees within view 1A.2, it was decided that the Aylesbury development proposals are more likely to be seen from this view. View 1A.1 is assessed to determine the visual impact of the development proposals.

DEFINITION AND IDENTIFICATION

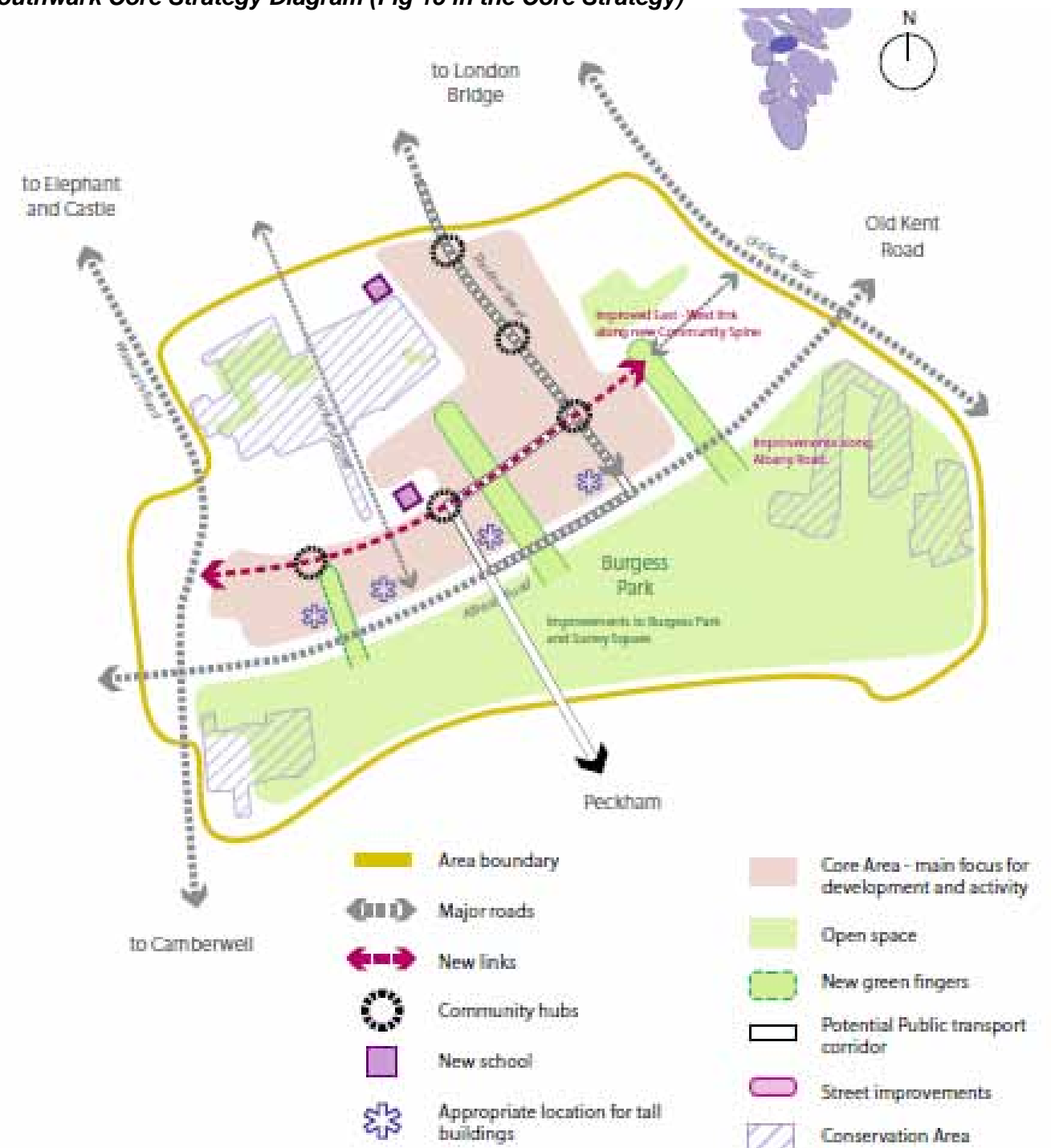
The definition of a 'tall' building

- 8.8 Paragraph 7.25 of the London Plan (2011) defines tall buildings as "... those that are substantially taller than their surroundings, cause a significant change to the skyline or are larger than the threshold sizes set for the referral of planning applications to the Mayor".
- 8.9 Category 1C of the Town and Country Planning Mayor of London Order (2008) defines a large building referable to the Mayor as one where development comprises or includes the erection of a building of one or more of the following descriptions —
- (a) the building is more than 25 metres high and is adjacent to the River Thames;
 - (b) the building is more than 150 metres high and is in the City of London;
 - (c) the building is more than 30 metres high and is outside the City of London.
- 8.10 The Southwark Core Strategy defines tall buildings as follows: "Tall buildings are those which are higher than 30 metres (or 25 metres in the Thames Policy Area) and/or which significantly change the skyline. 30 metres is approximately the height of a 10 storey block of flats or a 7-10 storey office building. In areas which have a low scale character, any building that is significantly higher than surrounding buildings will be regarded as a tall building even if it is lower than 30 metres".

Identifying proposed tall buildings within the proposed development by reviewing policy guidelines, including buildings proposed taller than that approved by the Aylesbury AAP

- 8.11 The Aylesbury Estate is situated effectively in between Elephant and Castle - a major opportunity area for intensification and therefore taller buildings - and the middle of the borough characterised by lower scale development. Paragraphs 5.105 and 5.106 of the Southwark Core Strategy (2011) state:
- 8.12 "The Central Activities Zone is a setting for activity and large scale development including tall buildings which give Southwark and London a distinct skyline. There are fewer and smaller open spaces and fewer trees and gardens, but there is a close relationship with the River Thames. Areas such as London Bridge and Elephant and Castle will be transformed by regeneration programmes and major new development. Areas in the middle of the borough around Bermondsey, Walworth, Camberwell and Peckham are characterised by lower scale development, with a mixture of Victorian and Edwardian terraces, broken up by post-war estates, town centres and some newer housing development". Paragraph 5.114 of the Southwark Core Strategy states that: "The core part of Peckham, Canada Water and Aylesbury action areas could be suitable for taller buildings as these areas also have good transport links and have large development opportunities".
- 8.13 The Southwark Core Strategy identifies a number of locations within Aylesbury considered suitable for taller buildings: See diagram to the right.

Southwark Core Strategy Diagram (Fig 15 in the Core Strategy)



8.14 Tall buildings within the Aylesbury FDS and Masterplan will be 'special blocks' as identified in the AAP. Paragraph 4.3.5 of the Aylesbury Area Action Plan discusses the definition of special blocks as those that will "signal important places or features, add interest, and act as landmarks. They will either be taller buildings (as shown on Figure 10) or landmarks distinguished by their design rather than their height, notably at Westmoreland Road, providing an interesting frontage to the public square, and at the junction of East Street and Thurlow Street".

Policy PL4: Building Heights of the Aylesbury AAP, reads as follows:

"General building heights should be as indicated on Figure 10. Developments must contain variations in height and make use of the full range of buildings heights shown in Figure 10 to add interest and variety to the development. Most of the new development should have a general height of between 2 and 4 storeys. Height and scale should respect the setting of the conservation areas and preserve or enhance their character and appearance. The general height in Thurlow Street and Albany Road will be greater, mostly between 7 to 10 storeys. Buildings which are taller than the general height should be situated in important locations consistent with Figure 10. These buildings comprise:

- One district landmark building of between 15 and 20 storeys at the junction of Thurlow Street and Albany Road to mark the main entrance to the neighbourhood and symbolise the area's regeneration;
- Local landmark buildings of between 10 and 15 storeys to mark the entrances to Portland Street, the King William IV and Chumleigh green fingers, and also the Amersham Site.

The design of these taller buildings needs careful consideration. They should be elegant

and slender. Proposals should demonstrate that harmful effects on residents, pedestrians and cyclists, such as overshadowing and wind funnelling, will be minimised. Proposals should comply with the design guidance set out in Appendix 6."

8.15 Paragraph A6.6.37 of Appendix 6 stipulates that tall buildings should be of outstanding architectural and urban design quality with particular attention being given to the following:

- They should be designed with sufficient slenderness (the ratio of base to height) to form an attractive visual feature from all angles.
- Their design should not create excessive overshadowing or wind effects.
- Careful design attention must be paid to how the building meets the ground, public realm, micro-climate, quality of materials, and the relationship to surrounding buildings and public spaces.
- Tall buildings should achieve some visual separation from adjacent developments.
- They should be set within a generously proportioned public realm to avoid the spaces around them feeling cramped, unwelcoming, claustrophobic or dark.
- The design should include the three dimensional modelling of the top and roofline to demonstrate how a sculptured and visually interesting profile and a vibrant skyline are to be achieved.
- Mechanical plant areas should be integrated into the roof design and concealed from view.

8.16 The AAP established the following locations for taller buildings - See diagram to the right.

AAP Recommended Tall Building Locations (Fig 10 in the AAP)



CRITERIA AND ASSESSMENT

8.16 Section 2 of this chapter comprised of a discussion of relevant policy and guidance documents relating to tall buildings, tabled below:

POLICY DOCUMENT	POLICY TEXT
GLA, The London Plan (2011) including Revised Early Minor Alterations (June 2012 & October 2013 and further draft alterations (January 2014)	<p><i>Policy 7.7:</i></p> <p>Location and Design of Tall and Large Buildings. The guidance states that tall and large buildings should ‘relate well to the form, proportion, composition, scale and character of surrounding buildings, urban grain and public realm (including landscape features), particularly at street level’. They should also ‘improve the legibility of an area’ and ‘enhance the skyline and image of London’ by ‘incorporating the highest standards of architecture and materials, including sustainable design and construction practises’. They should offer ground floor activities and contribute to improving the permeability of the site and the surrounding area and ‘make a significant contribution to local regeneration’. The impact of tall buildings in sensitive locations, such as conservation areas, listed buildings or registered historic parks and gardens, should be given particular attention and consideration.</p>
Aylesbury Area Action Plan (AAP) (2010)	<p><i>PI4:</i></p> <p>Building Heights highlights the need for careful consideration of taller buildings design and sets the general building heights permitted within different proposal sites. Building height plan (Figure 10) indicates the acceptable and preferred location of District Landmark Building of between 15-20 storeys, District Landmark buildings of between 10-15 storeys, predominantly 2-4 storey buildings, predominantly 7-10 storeys buildings and other special buildings within the AAP boundary.</p>
Southwark Plan (UDP saved policies) (2007)	<p><i>Policy 3.20:</i></p> <p>Tall Buildings. The Council acknowledges that thoughtfully designed tall buildings ‘can be an important component in rising population density around transport nodes, avoiding urban sprawl and contributing to an area’s regeneration’. It is however expected that proposals buildings over 30 meters tall (25m within Thames policy Area) will make a positive contribution to the landscape; will be located at a point of landmark significance; is designed to the highest possible architectural standard; relates well to its surroundings (especially at street level) and provide positive contribution towards London Skyline (either by providing key focus within views or as a whole, by consolidating a cluster within the skyline).</p> <p><i>Policy 3.22:</i></p> <p>Important Local Views, which states that important, identified local views, panoramas or prospects and their settings need to be protected and enhanced where possible, as developments which impact negatively will not be granted permission.</p>
London View Management Framework Supplementary Planning Guidance (LVMF SPG) (2012)	<p><i>Policy 4B.16:</i></p> <p>View Management Plans, states the principles of management principles for varied types of views, and that management plans are to be prepared for the views designated under Policy 4B.15 and they should seek to:</p> <ul style="list-style-type: none"> - reflect the benefits of the view, helping to promote an appreciation of London at the strategic level and to identify landmark buildings and to recognise that it is not appropriate to protect every aspect of an existing view; - seek to enhance the view and viewing place in terms of access and the ability to understand the view; - prevent undue damage to the view either by blocking, or unacceptably imposing on, a landmark or by creating an intrusive element in then view’s foreground or middle ground; - clarify appropriate development height thresholds - protect backgrounds that give a context to landmarks. In some cases, the immediate background to landmarks will require safeguarding to ensure the structure can be appropriately appreciated; - be based on an understanding of its foreground, middle ground and background, landmark elements and the relative importance of each to view in its entirety.

POLICY DOCUMENT	POLICY TEXT
London View Management Framework Supplementary Planning Guidance (LVMF SPG) (2012)	<p><i>Policy 4B.17:</i></p> <p>Assessing development impact on designated views sets out requirements and key principles for the assessment and management of potential impacts of development proposals on the following categories:</p> <ul style="list-style-type: none">- Landmark Viewing Corridors;- Front and Middle Ground Assessment Areas;- Landmark Lateral Assessment Areas, and;- Landmark Background Assessment Areas. <p>The guidance document lists a total of thirteen Protected Vistas which are geometrically defined and place additional consultation and referral requirements on development proposal exceeding the defined threshold plane. A total of twenty-seven Viewing Places are identified in the LVMF SPG, which include the Protected Vistas views. These are separated into four categories:</p> <ul style="list-style-type: none">• London Panoramas;• River Prospects;• Townscape Views;• Linear Views. <p>The London View Management Framework SPG identifies six view panoramas. The Aylesbury Estate is within the southern extent of the panorama view from Alexandra Palace.</p>

- 8.17 The introductory paragraphs of this section established what is meant by ‘tall building’ and the locations for local and district landmarks as identified and established by the Aylesbury AAP. The proposals for tall buildings within the FDS and outline masterplan will now be assessed.
- 8.18 The assessment follows the criteria established in the English Heritage and CABE’s publication “Guidance on tall buildings” (2007). Paragraph 4.4 of the guidance states: “To be acceptable, any new tall building should be in an appropriate location, should be of excellent design quality in its own right and should enhance the qualities of its immediate location and wider setting. It should produce more benefits than costs to the lives of those affected by it. Failure on any of these grounds will make a proposal unacceptable to CABE and English Heritage”. The document lists 11 criteria to ensure that tall buildings would be acceptable, including:
- The relationship to context, including natural topography, scale, height, urban grain, streetscape and built form, open spaces, rivers and waterways, important views, prospects and panoramas, and the effect on the skyline.
 - The effect on the historic context, including the need to ensure that the proposal will preserve and/or enhance historic buildings, sites, landscapes and skylines. Tall building proposals must address their effect on the setting of, and views to and from historic buildings, sites and landscapes over a wide area including:
 - world heritage sites
 - scheduled ancient monuments
 - listed buildings
 - registered parks and gardens, and registered battlefields
 - archaeological remains
 - conservation areas.
- The effect on world heritage sites.
 - The relationship to transport infrastructure, aviation constraints, and, in particular, the capacity of public transport, the quality of links between transport and the site, and the feasibility of making improvements, where appropriate.
 - The architectural quality of the building including its scale, form, massing, proportion and silhouette, facing materials and relationship to other structures.
 - The sustainable design and construction of the proposal. For all forms of development, good design means sustainable design. Tall buildings should set exemplary standards in design because of their high profile and local impact.
 - The credibility of the design, both technically and financially. Tall buildings are expensive to build, so it is important to be sure that the high standard of architectural quality required is not diluted throughout the process of procurement, detailed design, and construction.
 - The contribution to public space and facilities, both internal and external, that the development will make in the area, including the provision of a mix of uses, especially on the ground floor of towers, and the inclusion of these areas as part of the public realm. The development should interact with and contribute positively to its surroundings at street level; it should contribute to safety, diversity, vitality, social engagement and ‘sense of place’.
 - The effect on the local environment, including microclimate, overshadowing, night-time appearance, vehicle movements and the environment and amenity of those in the vicinity of the building.
- The contribution to the permeability of a site and the wider area; opportunities to offer improved accessibility, and, where appropriate, the opening up, or effective closure, of views to improve the legibility of the city and the wider townscape.
 - The provision of a well designed environment, both internal and external, that contributes to the quality of life of those who use the buildings, including function, fitness for purpose and amenity.
- 8.19 Criteria 4 (transport), 6 (sustainability), 7 (technical and financial credibility) and 9 (microclimate) will be assessed under other chapters of the Environmental Statement and therefore are not dealt with here.

FIRST DEVELOPMENT SITE

- 8.20 The Aylesbury AAP recommended locating tall buildings at the junction of Albany Road / Portland Street, in the centre between this tower and the western edge of the site facing onto Albany Road, and a 'Special Building' on the junction of Westmoreland Road and Bardenham Close. These were surrounded by large areas of land designated to be between 7-10 storeys.
- 8.21 The proposal fulfils the desire to have a Local Landmark (or Special Tower as is referred to in the Design Code) at the junction of Albany Road / Portland Street although this has been upscaled to become a District Landmark (or Landmark Tower as is referred to in the Design Code) of 20 storeys which forms part of the gateway leading into Portland Street.
- 8.22 There are a further 2 District Towers (18 and 16 respectively) that step down westwards from the Portland Street tower and a 'Special Building' adjacent to the proposed Westmoreland Street park. The Special building is positioned here to assist in framing the open space and also to provide a vista termination along the street opposite which will aid orientation and legibility.
- 8.23 The increased number and height of the tall buildings is a consequence of 2 factors. In urban design principles it is intended to create a strong park edge which has a rhythmic pattern to height and elevation which responds to views from Burgess Park and would also unite with the Outline Masterplan. Secondly, the AAP has a large area (above 50%) of the FDS designated as being between 7-10 storeys. This was felt to be too overbearing on the surrounding context and so the decision was made to consolidate height and density away from the local context and along the park edge, enabling the massing to step down northwards and gently meet the surrounding built form at a more suitable scale and height.

AAP Recommended Tall Building Locations Overlay (FDS)



Proposed Tall Building Locations (FDS)



Criteria 1

4.1.1 The relationship to context, including natural topography, scale, height, urban grain, streetscape and built form, open spaces, rivers and waterways, important views, prospects and panoramas, and the effect on the skyline

- 8.24 Extensive thought has been given to the likely visual impact of the scale, massing and placing of the taller elements of the First Development Site in relation to their existing and emerging townscape context and both distant and local views. The existing townscape quality around the FDS is generally not high with the exception of the existing building proposed to be replaced on Bardenham Close (at 15 storeys) and the new development built by the junction of Bardenham Close and Albany Road (at 10 storeys). The north of the surrounding context has a low sensitivity to change whilst the south is exposed to long views across Burgess Park and has a high sensitivity to change. The introduction of tall buildings would contribute to an increase in both permeability and connectivity through the site and enhanced legibility both within the FDS and in a wider context.
- 8.25 Taller elements have been located and their heights determined in response to robust urban design principles:
- To have a robust and strong presence along the park edge delineating between built form and open space
 - To identify terminations of streets and views across the park with areas of significant massing and high quality architectural design
 - To highlight gateways and arrival points
 - To create visual interest and townscape articulation which operates simultaneously as a skyline and at local street level
- The heights of the taller elements have been considered in relation to each other, existing taller elements and also to other consented and emerging schemes within the Aylesbury

Estate including the Outline Masterplan. The proposed heights reinforce the hierarchy within each subplot which is explained in detail in the Design Code.

- 8.26 The tall buildings within the FDS have been designed to stand alone but also to work within the expanded framework of the Outline Masterplan, forming part of the Park Edge character area. Together they mark the significance of the park edge and create a bold contrast between the northern urban forms and the southern open space. The heights of the towers step up in height from the existing 10 storey tower directly adjacent on the western edge to create a concluding focus on the eastern edge on the corner of Portland Street which marks a gateway into the development and a point of local significance at a junction of important local routes. The tall elements are only present on the southern edge of the site, opposite the open space, and the rest of the development steps down northwards to relate in scale and massing to the surrounding context and built forms. The tall buildings on the FDS would create a cluster of taller development in local views in combination with other existing and proposed tall buildings which would consolidate an emerging cluster of tall development along Burgess Park.
- 8.27 The tall buildings are not visible from within Landmark Corridors or Vistas or from the LVMF Townscape View 1A.1 from Alexandra Palace and the impacts on strategic and local views have been assessed in Chapter 7.
- 8.28 The anticipated impacts have been assessed to range from negligible impacts to moderate to major and beneficial. Taking into account the design principles imposed and suggested by the Design Code, none of the impacts are judged to be adverse.

Criteria 2

4.1.2 The effect on the historic context, including the need to ensure that the proposal will preserve and/or enhance historic buildings, sites, landscapes and skylines. Tall building proposals must address their effect on the setting of, and views to and from historic buildings, sites and landscapes over a wide area including:

- world heritage sites
- scheduled ancient monuments
- listed buildings
- registered parks and gardens, and registered battlefields
- archaeological remains
- conservation areas

- 8.29 The existing Aylesbury Estate does not fall within a conservation area and it does not contain any listed buildings. The detailed impact of proposals on heritage assets surrounding its boundaries have been assessed in section 3 of this chapter.
- 8.30 There will be a negligible impact on the heritage assets of highest significance which include the Grade I listed St Peter's Church and Grade II* Sutherland House which are distant from the development site. There will be a minor to moderate beneficial impact on CA 21 Liverpool Grove including the Grade II listed Nos. 1-23 Portland Street as the setting is improved by the sensitive design of the new buildings at a more appropriate scale than the existing Aylesbury Estate. The edges of this conservation area will be improved, particularly the relationship to the buildings of Merrow Street, Portland Street and Dawes Street and views along Portland Street, Merrow Street, Aylesbury Road, Wooler Street and Trafalgar Street.

- 8.31 There will be a minor beneficial impact to Addington Square including the listed buildings of the Addington Square Conservation Area in long views across Burgess Park to the redevelopment. Similarly the Coburg Road Conservation Area will experience a minor beneficial impact from the redevelopment in views across Burgess Park. The listed buildings in Burgess Park will also see moderate or minor beneficial impact to their setting through the redevelopment. There will also be moderate or minor beneficial impacts on the Grade II listed Harkers Studio, Surrey Square and its raised pavement, Nos.62-92 Camberwell Road and the English Martyrs School.
- 8.32 There will be a negligible impact on the other conservation areas studied which include Grosvenor Park, Sutherland Square, Trafalgar Avenue and Glengall Road, also the listed buildings within them and other listed buildings which include Church of the English Martyrs and Presbytery, St Christopher's Church the former Fire Station and the Church of St Paul which are all distant and without any view of the redevelopment.

Criteria 3

4.1.3 World heritage sites

- 8.33 The proposal site is not affected by a world heritage site.

Criteria 5

4.1.4 The architectural quality of the building including its scale, form, massing, proportion and silhouette, facing materials and relationship to other structures. The design of the top of a tall building will be of particular importance when considering the effect on the skyline. The design of the base of a tall building will also have a significant effect on the streetscape and near views.

- 8.34 The Design Code has been developed to ensure consistent high quality design across the FDS and provides a set of specific rules for approval that would add detail to the specific design principles established by the Parameter Plans. The 'Mandatory' principles within the Design Code supply requirements and strategies that have instructed the development and design of the FDS. The Design Code states that tall buildings can only be located in the south-east corners of the southern three subplots and their rise in height has been pre-determined and limited. The code also demands that towers must be designed to be slender with an emphasis on a tripartite approach - the clear distinction between top, middle and bottom.
- 8.35 The FDS tall towers have been designed so that there is always a break in the massing adjacent to them and that the mansion blocks adjoining them step down significantly to emphasise the slenderness of the towers and avoid a pyramidal block design. The FDS also obeys the coding relating to appropriate material palettes, in particular brick, which have been used and also does not employ more than 3 differing types of bricks along any one street elevation to avoid a chaotic and complicated appearance.
- 8.36 Please refer to Chapter 4 paragraphs 4.5.1 and 4.5.4 and Fig 4.8 for further clarification on materials and palettes used.

Criteria 8

4.1.5 The contribution to public space and facilities, both internal and external, that the development will make in the area, including the provision of a mix of uses, especially on the ground floor of towers, and the inclusion of these areas as part of the public realm. The development should interact with and contribute positively to its surroundings at street level; it should contribute to safety, diversity, vitality, social engagement and 'sense of place'.

- 8.37 The tall buildings would make a positive contribution to the public realm of both the Aylesbury Estate and Burgess Park, fulfilling roles of landmarks which would significantly aid legibility and orientation around the estate and surrounding context. Vibrant street frontages with plenty of on street entrances and the encouragement of surveillance within design have been specified and applied to all subplots at street level. Double height, fully glazed lobbies have been incorporated into all of the tall buildings to lighten their impact on the street whilst increasing overlooking onto the public realm which creates a safer street environment.

Criteria 10

4.1.6 The contribution made to the permeability of a site and the wider area; opportunities to offer improved accessibility, and, where appropriate, the opening up, or effective closure, of views to improve the legibility of the city and the wider townscape.

- 8.38 The proposed network of connecting streets create a legible and clearly defined hierarchy across the FDS. Local, human scale, quieter and intimate streets link to the primary Albany Road and permeate through the FDS, linking up the other side with the existing and emerging street network and built context. The positioning of the tall elements within the FDS has been based upon strong urban design principles designed to be complimentary to distant and local views, to effectively terminate local views, establish gateways, aid orientation and legibility and to strengthen the delineation between the estate and Burgess Park.
- 8.39 The existing site contains significant barriers to pedestrians and has a complex network of courtyards, cul-de-sacs and garage frontages which disorientate and intimidate pedestrians. It also completely blocks any direct access or views into Burgess Park (especially from Westmoreland Road). Increased street permeability and views to Burgess Park have been key drivers in the design of the FDS.
- 8.40 The tall building on the corner of Albany Road and Portland Street plays a crucial role in bolstering legibility from both the local context, across the park and highlights the junction of the two streets. The tall elements of the FDS and their stepping down towards the western edge of the development site help to anchor the scheme to the adjacent built development and signify important local vehicular and pedestrian routes.

Criteria 11

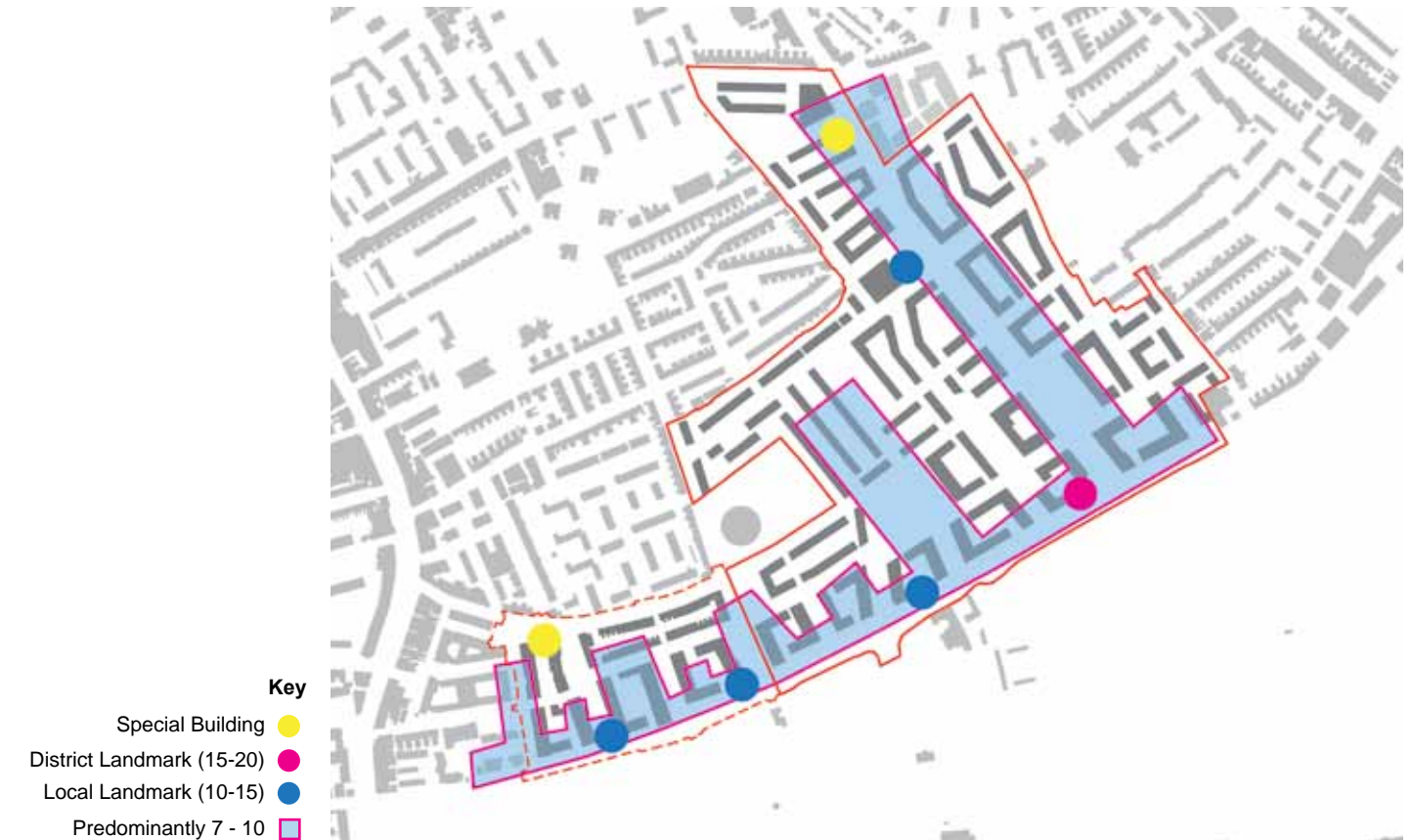
4.1.7 The provision of a well-designed environment, both internal and external, that contributes to the quality of life of those who use the buildings, including function, fitness for purpose and amenity.

- 8.41 The combination of carefully considered and methodical urban design, high quality architecture and architectural finishes and a broad mix of housing typologies proposed for the FDS would create a well-connected, permeable and active public realm which is enhanced by the provision of open space. This will create safe and accessible streets and spaces that are distinctive from other developments and provide a desirable environment for residents and visitors alike. All of the new residential accommodation will be designed and built to generous standards with well-lit and well-proportioned useable spaces. All of the units will have access to either private amenity space (in the form of gardens or balconies) and in some instances communal amenities (courtyards and podium spaces).

OUTLINE MASTERPLAN

- 8.42 The Aylesbury AAP recommended locating tall buildings within the Outline Masterplan opposite Wells Way, in Aylesbury Square and a District Tower at the junction of Albany Road/Thurlow Street. There was also a 'Special Building' on the northern end of Thurlow Street. These were supported by land designated to be between 7-10 storeys which run as spines along the east side of Michael Faraday School and along Thurlow Street.
- 8.43 The proposal fulfils the desire to locate a District Landmark (or Landmark Tower as is referred to in the Design Code) at the junction of Albany Road / Thurlow Street although this has been now been accompanied by another District Landmark opposite which together provide a much stronger gateway leading into Thurlow Street which is at the heart of the proposals. There is another District Landmark opposite the one proposed in the FDS which also helps form a gateway at the end of Portland Street. The Outline Masterplan also positions a Local Landmark within Aylesbury Square in line with the AAP.
- 8.44 There are a further 3 District Towers along the park edge which step down inbetween the Portland Street gateway and the Thurlow Street gateway to provide continuity and rhythm along the park edge.
- 8.45 The increased number and height of the tall buildings is a consequence of 2 factors. In urban design principles it is intended to create a strong park edge which has a rhythmic pattern to height and elevation which responds to views from Burgess Park and would also unite with the Outline Masterplan. Secondly, the AAP has a large area land designated as being between 7-10 storeys. The location of this adjacent to the school felt too overbearing on the surrounding context and so the decision was made to consolidate height and density away from the local context and along the park edge and Thurlow Street, enabling the massing to step down northwards and gently meet the surrounding built form at a more suitable scale and height.

AAP Recommended Tall Building Locations Overlay (Masterplan)



Proposed Tall Building Locations (Masterplan)



Criteria 1

4.1.1 The relationship to context, including natural topography, scale, height, urban grain, streetscape and built form, open spaces, rivers and waterways, important views, prospects and panoramas, and the effect on the skyline

8.46 Extensive thought has been given to the likely visual impact of the scale, massing and placing of the taller elements of the Outline Masterplan in relation to its existing and emerging townscape context and both distant and local views. The existing townscape quality around the Outline Masterplan is generally not high with the exception of the existing buildings along Thurlow Street to be replaced (at 15 storeys). The north of the surrounding context has a low sensitivity to change whilst the south is exposed to long views across Burgess Park and has a high sensitivity to change. There is also the Liverpool Grove conservation area to the northwest which shares boundaries with the masterplan and is also of high sensitivity to change. The introduction of tall buildings would contribute to an increase in both permeability and connectivity through the site and enhanced legibility both within the Outline Masterplan and in a wider context.

8.47 Taller elements have been located and their heights determined in response to robust urban design principles:

- To have a robust and strong presence along the park edge delineating between built form and open space
- To identify terminations of streets and views across the park with areas of significant massing and high quality architectural design
- To highlight gateways and arrival points
- To create visual interest and townscape articulation which operates simultaneously as a skyline and at local street level

The heights of the taller elements have been considered in relation to each other, existing taller elements and also to other consented and emerging schemes within the Aylesbury

Estate including the FDS. The proposed heights reinforce the hierarchy within each subplot which is explained in detail in the Design Code.

8.48 The tall buildings within the Outline Masterplan have been designed to work within the expanded framework of the FDS, forming the Park Edge character area. Together they mark the significance of the park edge and create a bold contrast between the northern urban forms and the southern open space. The towers step up in height from the proposed FDS tower on the corner of Alabny Road/ Portland Street on the western edge to not only complete a gateway at that junction but also to create another gateway opposite Wells Way and a concluding focus on the junction of Albany Road/Thurlow Street which marks a gateway into the major street and heart of the Outline Masterplan and highlight a point of local significance at a junction of important local routes. The tall elements are present on the southern edge of the site, opposite the open space, and the rest of the development steps down northwards to relate in scale and massing to the surrounding context and built forms. The exception is the tall building in Aylesbury Square which sits in the centre of the masterplan and helps orientate people around the area and provides a focal point to the square. The tall buildings in the Outline Masterplan would create a cluster of taller development in local views in combination with other existing and proposed tall buildings which would consolidate an emerging cluster of tall development along Burgess Park.

8.49 The tall buildings are not visible from within Landmark Corridors or Vistas or from the LVMF Townscape View 1A.1 from Alexandra Palace and the impacts on strategic and local views have been assessed in Chapter 7.

8.50 The anticipated impacts have been assessed to range from negligible impacts to moderate to major and beneficial. Taking into account the design principles imposed and suggested by the Design Code, none of the impacts are judged to be adverse.

Criteria 2

4.1.2 The effect on the historic context, including the need to ensure that the proposal will preserve and/or enhance historic buildings, sites, landscapes and skylines. Tall building proposals must address their effect on the setting of, and views to and from historic buildings, sites and landscapes over a wide area including:

- world heritage sites
- scheduled ancient monuments
- listed buildings
- registered parks and gardens, and registered battlefields
- archaeological remains
- conservation areas

8.51 The existing Aylesbury Estate does not fall within a conservation area and it does not contain any listed buildings. The detailed impact of proposals on heritage assets surrounding its boundaries have been assessed in section 3 of this chapter.

8.52 There will be a negligible impact on the heritage assets of highest significance which include the Grade I listed St Peter's Church and Grade II* Sutherland House which are distant from the development site. There will be a minor to moderate beneficial impact on CA 21 Liverpool Grove including the Grade II listed Nos. 1-23 Portland Street as the setting is improved by the sensitive design of the new buildings at a more appropriate scale than the existing Aylesbury Estate. The edges of this conservation area will be improved, particularly the relationship to the buildings of Merrow Street, Portland Street and Dawes Street and views along Portland Street, Merrow Street, Aylesbury Road, Wooler Street and Trafalgar Street.

8.53 There will be a minor beneficial impact to Addington Square including the listed buildings of the Addington Square Conservation Area in long views across Burgess Park to the redevelopment. Similarly the Coburg Road Conservation Area will experience a minor beneficial impact from the redevelopment in views across Burgess Park. The listed buildings in Burgess Park will also see moderate or minor beneficial impact to their setting through the redevelopment. There will also be moderate or minor beneficial impacts on the Grade II listed Harkers Studio, Surrey Square and its raised pavement, Nos.62-92 Camberwell Road and the English Martyrs School.

There will be a negligible impact on the other conservation areas studied which include Grosvenor Park, Sutherland Square, Trafalgar Avenue and Glengall Road, also the listed buildings within them and other listed buildings which include Church of the English Martyrs and Presbytery, St Christopher's Church the former Fire Station and the Church of St Paul which are all distant and without any view of the redevelopment.

Criteria 3

4.1.3 World heritage sites

8.54 The proposal site is not affected by a world heritage site.

Criteria 5	Criteria 8	Criteria 10	Criteria 11
<p>4.1.4 The architectural quality of the building including its scale, form, massing, proportion and silhouette, facing materials and relationship to other structures. The design of the top of a tall building will be of particular importance when considering the effect on the skyline. The design of the base of a tall building will also have a significant effect on the streetscape and near views.</p>	<p>4.1.5 The contribution to public space and facilities, both internal and external, that the development will make in the area, including the provision of a mix of uses, especially on the ground floor of towers, and the inclusion of these areas as part of the public realm. The development should interact with and contribute positively to its surroundings at street level; it should contribute to safety, diversity, vitality, social engagement and 'sense of place'.</p>	<p>4.1.6 The contribution made to the permeability of a site and the wider area; opportunities to offer improved accessibility, and, where appropriate, the opening up, or effective closure, of views to improve the legibility of the city and the wider townscape.</p>	<p>4.1.7 The provision of a well-designed environment, both internal and external, that contributes to the quality of life of those who use the buildings, including function, fitness for purpose and amenity.</p>
<p>8.55 The Design Code has been developed to ensure consistent high quality design across the Outline Masterplan and provides a set of specific rules for approval that would add detail to the specific design principles established by the Parameter Plans. The 'Mandatory' principles within the Design Code supply requirements and strategies that have instructed the development and design of the masterplan. The Design Code states that tall buildings can only be located in the Park Edge subplots (with the exception of the Aylesbury Square tower) and their rise in height has been pre-determined and limited. The code also demands that towers must be designed to be slender with an emphasis on a tripartite approach - the clear distinction between top, middle and bottom.</p> <p>8.56 The Outline Masterplan tall towers have been designed so that there is always a break in the massing adjacent to them and that the mansion blocks adjoining them step down significantly to emphasise the slenderness of the towers and avoid a pyramidal block design. The FDS also obeys the coding relating to appropriate material palettes, in particular brick, which have been used and also does not employ more than 3 differing types of bricks along any one street elevation to avoid a chaotic and complicated appearance.</p>	<p>8.57 The tall buildings would make a positive contribution to the public realm of both the Aylesbury Estate and Burgess Park, fulfilling roles of landmarks which would significantly aid legibility and orientation around the estate and surrounding context and leading to and from the proposed Aylesbury Square. Vibrant street frontages with plenty of on street entrances and the encouragement of surveillance within design have been specified and applied to all subplots at street level. Double height, fully glazed lobbies have been incorporated into all of the tall buildings to lighten their impact on the street whilst increasing overlooking onto the public realm which creates a safer street environment.</p>	<p>8.58 The proposed network of connecting streets create a legible and clearly defined hierarchy across the masterplan. Local, human scale, quieter and intimate streets link to the primary roads of Albany Road and Thurlow Street and permeate through the masterplan helping to establish character areas and linking up with the existing and emerging street network and built context. The positioning of the tall elements within the masterplan have been based upon strong urban design principles designed to be complimentary to distant and local views, to effectively terminate local views, establish gateways, aid orientation and legibility and to strengthen the delineation between the estate and Burgess Park.</p> <p>8.59 The existing site contains significant barriers to pedestrians and has a complex network of courtyards, cul-de-sacs and garage frontages which disorientate and intimidate pedestrians. It also completely blocks any direct access or views into Burgess Park and awkwardly connects to the Liverpool Grove conservation area.</p> <p>8.60 Increased street permeability, seamless connections to the existing, strategic positioning of open spaces and views to Burgess Park have been key drivers in the design of the Outline Masterplan. The tall buildings on the corner of Albany Road / Thurlow Street and Aylesbury Square play crucial roles in bolstering legibility from both the local context, across the park and from within the masterplan itself and highlight the junction of the two streets. The tall elements of the masterplan and their rise and falls to create gateways help to signify important local vehicular and pedestrian routes.</p>	<p>8.61 The combination of carefully considered and methodical urban design, high quality architecture and architectural finishes and a broad mix of housing typologies and non-residential uses clustered around Aylesbury Square / Thurlow Street proposed for the Outline Masterplan would create a well-connected, permeable and active public realm which is enhanced by the provision and strategic positioning of open space and community facilities. This will create safe and accessible streets and spaces that are distinctive from other developments, and character areas within the masterplan that are distinct from each other and provide a desirable environment for residents and visitors alike. All of the new residential accommodation will be designed and built to generous standards with well-lit and well-proportioned useable spaces. All of the units will have access to either private amenity space (in the form of gardens or balconies) and in some instances communal amenities (courtyards and podium spaces)</p>

CONCLUSION

- 8.62 The FDS and Outline Masterplan proposals include a number of taller elements, which vary from the strategy set out in the Aylesbury AAP baseline. However, none of the buildings exceed the 20 storey limit established within the AAP. Nevertheless, the number of potential twenty storey elements have increased and the visual impact of these buildings according to minimum and maximum parameters have been illustrated in Section 7.0 of this report. Through the evolution of the design proposals for the FDS and the masterplan, the placement of taller buildings along the Burgess Park edge and the lessening of the massing towards the northern part of the site appeared to be the most satisfactory solution to achieve other important regeneration and urban design objectives such as increasing the legibility and permeability across the sites, introducing safe streets, and providing frequent green spaces. It is foreseen that the current proposals, of which the detail is fully justified in the Design and Access Statements for the First Development Site and Masterplan, the Design Code, and detailed built heritage, townscape and visual impact assessments, will assist in the successful regeneration of the area.
- 8.63 The proposals are in accordance with the guiding principles on tall buildings set out in the London Plan, Aylesbury AAP, Southwark Core Strategy, and London View Management Framework. In view of the strategic objective for intensification in the London Plan and elsewhere, the proposals are will have a significant but beneficial impact on the Burgess Park edge, whilst having a minor to negligible impact to the northern sections of the site, creating a more acceptable relationship to adjoining heritage assets.

9.0 DEMOLITION AND CONSTRUCTION: ASSESSMENT OF EFFECTS AND MITIGATION MEASURES

DEMOLITION AND CONSTRUCTION: ASSESSMENTS OF EFFECTS AND MITIGATION MEASURES

9.1	The demolition and construction activities which will take place during the First Development Site and the Site Wide Development are likely to create effects which will need to be mitigated to reduce the visual impact on the existing built heritage assets, townscape and visual amenity.			
9.2	Due to the proposed phasing, all demolition and construction related impacts are however considered to be temporary and short to medium-term, lasting for the anticipated 18 years construction programme, with completion in 2032.			
9.3	Due to the transient nature of the activities, preparation of the site and construction is likely to be more intrusive than the final completed scheme on the visual amenity and the townscape character of the area, particularly concerning the presence of cranes, scaffolding, delivery vehicles and storage of materials.			
9.4	Mitigation measures include the use of appropriate hoarding and following industry best practice construction standards. Graphics and decoration on hoardings will also be used to reduce the visual impact of activities.			
9.5	Site lighting will be designed to sufficiently illuminate the construction site while minimising light pollution in the surrounding areas. This will be achieved through the selection of light sources of the minimum intensity required for the purpose, and evaluating the requirements to ensure that light is used only where needed.			
9.6	With regard to plant and other equipment associated with the construction, it is anticipated that they will not be hidden if located above trees or on roofs. This will be the case of cranes and other tall heavy equipment, but most plant and materials will be located at low level behind hoarding.			
9.7	A Construction Environmental Management Plan (EMP) will be developed and			
		implemented by NHH for the construction phases. This will ensure that the environmental impacts during construction will be managed and minimised. This will guarantee that visual pollution will be kept to a minimum, and that movement of people and vehicles in the area associated with the construction will also be managed to affect as little as possible the heritage assets, adjacent areas and views related to the site.		
		9.8	A detailed EMP will be secured by way of a planning condition for each phase of development. This plan will identify further opportunities for mitigation and enhancement specific to each phase. It will provide a detailed method statement for each stage and will introduce measures to mitigate construction effects on sensitive receptors in the townscape, including a travel plan to manage construction traffic and access to the site. It will also address storage of plant and materials. The EMP will ensure that any temporary adverse impacts are reduced where possible in accordance with best practice.	
				Mitigation of Effects on Built Heritage
			9.9	Most heritage assets are not located on the edge of the site, and the area is mostly flat and on low ground. Consequently, the construction and hoarding will not have an impact on those assets and thus the visual impact is considered negligible for all built heritage in the area (listed buildings and conservation areas) with exception of Liverpool Grove Conservation Area which adjoins the site.
			9.10	In this Conservation Area, there will be a temporary short to mid-term minor adverse effect on local views, during demolition and construction of the FDS and of the Site Wide Development. This will not affect the Grade I listed building in this area (St Peter's Church), and will only temporarily affect the Grade II listed row of terraces on Portland Street. Hoarding and equipment above roof level will be temporarily seen from Merrow Street, Aylesbury Road, Trafalgar Road, Wooler Street and Portland Street. Mitigation measures such as hoarding graphics will significantly minimise the adverse effects on the historic streetscape. Existing trees will also partially hide the hoarding.
				Mitigation of Effects on Townscape
			9.11	From most character areas, particularly those that do not adjoin the site, demolition and construction of both FDS and Site Wide Development will have a negligible visual effect. This includes the areas: <ul style="list-style-type: none"> • Walworth Road • Larcom Street Conservation Area • Browning Estate • Nursery Row Park • Rodney Estate • Old Kent Road • Nelson Estate • Portland Estate • Coburg Road Conservation Area • Addigton Square Conservation Area
			9.12	However there will be a temporary short-term moderate adverse impact to the visual character of the townscape of areas immediately adjacent to the site, such as Elizabeth Estate, Albany Place and Burgess Park during activities on the FDS. These will only be experienced in local views, where graphics on hoarding will attenuate the impact.
			9.13	The redevelopment of the whole Aylesbury Site, will have a temporary short to medium term moderate adverse impact on the local views on townscape areas located in the proximity. These include Liverpool Grove Conservation Area, Kingston Estate, Victorian East Street, Elsted Street Area, Alvey and Congreve Estates, North of Surrey Square, Surrey Square Park and Bagshot Area, in addition to those affected by the FDS alone.
			9.14	Mitigation measures such as decorative graphics on hoarding will have a positive impact reducing the negative appearance of the construction on the townscape.

Mitigation of Effects on Views

- 9.15 On views from more distant locations site hoarding will be hidden by trees and by existing surrounding buildings. Mitigation measures will be less effective on the long views, but given that the site is flat and on low ground, few activities taking place above hoarding level will not be very visible from a distance. Therefore it can be said that the effect of demolition and construction on long views will be negligible.
- 9.16 On local views there will be a minor to moderate adverse effect, temporary, short to medium term on some of the views as follows:
- 9.17 On the FDS demolition and construction activities will be experienced in:
- View 11 - Southwest of the lime kiln in Burgess Park, looking north towards Portland Street
 - View 12 - Burgess Park looking north towards first development site
 - View 13 - Addington Sq looking north towards the FDS
 - View 14 - Western end of Albany Road looking east
 - View 15 - Portland Street at northern edge of Michael Faraday School looking south
- 9.18 On the Site Wide Development demolition and construction activities will be experienced in:
- View 01 - Flint Street, north of East Street looking southeast down Thurlow Street
 - View 03 - Eastern end of Smyrk's Road on southern footpath outside no 77 looking southwest
 - View 10 - Canal Bridge on Wells Way looking north
 - View 11 - Southwest of the lime kiln in Burgess Park, looking north towards Portland Street (FDS)

- View 12 - Burgess Park looking north towards first development site (FDS)
 - View 13 - Addington Square looking north towards the FDS (FDS)
 - View 14 - Western end of Albany Road looking east (FDS)
 - View 15 - Portland Street at northern edge of Michael Faraday School looking south (FDS)
 - View 17 - Corner of Aylesbury Road and Brettell Street looking east
- 9.19 Mitigation measures such as graphics on hoarding will have the greatest impact in the areas adjoining the site.

Cumulative Effects

- 9.20 With regard to the cumulative effects from other development sites in the area under construction during the same period, there is a possibility that some schemes near the Elephant and Castle Station will be under construction during the Aylesbury Estate redevelopment. Given their heights (some proposals for Elephant and Castle include 44, 41 and 37 storeys) it is likely that those schemes will be visible from the long views. This will result in a minor temporary adverse impact on long views.
- 9.21 On local views, the cumulative impact will not be felt, as the schemes will not be seen in conjunction with the Aylesbury redevelopment. The exception would be Site 7 (L&Q), as its hoarding would be seen from local views but it is anticipated that this development will be finished by the time the adjacent areas in the Site Wide Development will be for demolition.

10.0 RESIDUAL EFFECTS

- 10.17 The FDS and the Site Wide Development are not anticipated to result in any significant major adverse built heritage, townscape or visual impacts either in isolation or cumulatively with other foreseeable developments. As such, additional mitigation is not required as there are no residual effects beyond those considered in relation to the completed development, identified in Sections 5, 6, 7 and 8 of this assessment.
- 10.18 Accepting the significance of permanent likely impacts within the full range between the maximum and minimum development parameters has been an integral part of the design approach, and many decisions have been taken on the basis of the principles already established by the AAP. These include for example the density and variation aspirations which have greatly influenced the proposals for taller buildings along Burgess Park. Lower buildings were distributed to respect the setting and enhance sensitive heritage and townscapes such as Liverpool Grove Conservation Area.
- 10.19 Throughout the design process the likely impact of the proposed development on built heritage assets, adjacent townscape and key views has been taken into account. Density distribution, character, building proportions, typologies and materials of the proposals reflect the concern with minimising adverse visual impacts and creating significant visual improvements.
- 10.20 This includes aspects of architectural design, urban design, sustainability and resulting visual qualities. The proposed development aims to restore the qualities of the historic layout which preceded the current site arrangement, comparable to some of the most appreciated areas of London. The proposals will present a significant improvement compared to the current situation.
- 10.22 The proposed change in character and massing, responding to the AAP principles, will allow for an overall successful visual impact of the new development, contrasting with the existing monotonous situation. The proposals will be varied, sensitive and responsive to the various adjoining characters: lower heights will continue small scale traditional existing areas, whereas a strong edge will address the open space, Burgess Park. Medium heights will form transitions, complete key routes such as Thurlow Street, or frame a new network of public open spaces.
- 10.23 Given that the Masterplan is submitted as an Outline Application, major adverse impacts are avoided by the submitted Parameter Plans and by the mandatory requirements of the Design Code and the Development Specification. In addition, it is recognised that future applications at Reserved Matters stage will provide further opportunities to assess detailed proposals, specifically with regard to taller buildings and the relationship with sensitive areas such as the adjacent Liverpool Grove Conservation Area, to ensure that the overall intention of minimising visual impacts are not compromised and that the likely significant residual impacts of the development are in line with those stated in this assessment.

11.0 CONCLUSION

Artist's impression of the Aylesbury Masterplan



CONCLUSION

- 11.1 The impact of the proposed site wide and FDS development on the built heritage assets around the development site will be negligible or a minor to moderately beneficial improvement to their setting. There will be a negligible impact on the heritage assets of highest significance which include the Grade I listed St Peter's Church and Grade II* Sutherland House which are distant from the development site.
- 11.2 Generally the setting of the heritage assets will be improved by the sensitive design of the new buildings at a more appropriate scale, typology and materials than the existing Aylesbury Estate which will benefit Conservation Areas in the wider context. In addition, there will be a great improvement to the edges of the Liverpool Grove Conservation Area, which adjoins the site, including the Grade II listed houses of Nos. 1-23 Portland Street. The listed buildings in Burgess Park will also see moderate or minor beneficial improvement to their setting and there will be moderate or minor beneficial improvements to the Grade II listed Harker's Studio, Surrey Square, Nos.62-92 Camberwell Road and the English Martyrs School.
- 11.3 The FDS will have a beneficial effect on the townscape of the adjacent areas as the proposed development uses materials which are more in context with the existing buildings (i.e. brick), use greater variety of built forms (i.e. various housing typologies including terraced houses), and continue architectural features of the area (i.e. mono-pitched roofs near Liverpool Grove Conservation Area). Furthermore, in long views such as those from Burgess Park, Addington Square or Coburg Road, the FDS proposals will create a more interesting skyline profile which will enhance and possibly add to the visual qualities of the area.
- 11.4 Similarly, the impact of the Site Wide Development on the surrounding townscape will be of minor to major beneficial improvement due to the variety of forms and proportions of the new development which will enhance the visual quality of the background to the context compared with the current situation. The choice of brick as dominant material is more consistent with the surroundings than the current architectural expression. Some well-framed new public open spaces will also be a noticeable improvement to the area. Furthermore, the proposed streets and building typologies will restore some of the urban and visual qualities of the historic layout which preceded the current site arrangement, qualities that can still be found in adjacent areas such as the Liverpool Grove Conservation Areas and in the areas near Bagshot Street and Surrey Square.
- 11.5 The visual assessment of the agreed views of the site wide development and the FDS identifies that, whilst the proposed development will sometimes have a major visual impact, the effect of the development will be a beneficial improvement to the existing views.
- 11.6 The views from Burgess Park show that, although there will be more buildings than existing, the proposed buildings will be an improvement on the existing Estate buildings as the varied height and massing of the proposed buildings will present a consistent building line and the variety of heights will create an interesting rhythm along the park which will add to the richness and variety. The proposed tower buildings along the park have been orientated so that their narrowest elevation faces the park to minimise their impact. Their narrow depth also removes the slab-like character of the existing Estate buildings whose horizontality currently dominates the views from the park.
- 11.7 As the park users are highly sensitive receptors and the changes to the building quantity, heights and massing along the park edge is either a moderate or major magnitude of change, the visual impact of the park edge development is moderate to major or major for both the site wide development and the FDS options. However, due to the reasons identified above, the significance of the effect of the development for both the site wide development and the FDS options will be minor or moderately beneficial.
- 11.8 The visual assessment of proposed development from the north and east of the Masterplan site revealed that the proposed buildings will be in the same or similar silhouettes as the existing Estate buildings, creating a minor to moderate visual impact and moderate to major beneficial effect.
- 11.9 The taller building proposed for Aylesbury Square along Thurlow Street is the only building within the centre of the Masterplan development that is taller than the existing. However, this is necessary for the building to be a local landmark in the development so it will identify the location of Aylesbury Square, the most important civic space in the development. Similar to the taller buildings along the park edge, the Aylesbury Square building will have a moderate to major and major visual impact but the effect of the development will be minor beneficial as the varied height and massing will add richness and variety and the removal of the horizontality of the existing Wendover Estate building will make a noticeable improvement on the existing view. Also, the use of brick as the predominant material in the proposed buildings will add richness and variety and improve the boundary between the Estate and the Liverpool Grove conservation area.
- 11.10 The views from within and adjacent the conservation areas and listed buildings around the site identify that the proposed site wide development and the FDS will improve the settings of the listed buildings and conservation areas. The significance of the all the heritage asset surrounding the proposed development will not be affected by the proposed development.
- 11.11 The Tall Buildings assessment identified that the FDS and Outline Masterplan proposals include a number of taller elements which vary from the strategy set out in the Aylesbury AAP baseline. Although the number of potential twenty-storey elements has increased, none of the tall buildings will exceed the 20 storey limit established within the AAP.
- 11.12 The proposals for the tall buildings are in accordance with the guiding principles on tall buildings set out in the London Plan, the Aylesbury AAP, the Southwark Core Strategy, London Plan and London View Management Framework. In view of the strategic objectives for intensification in the London Plan and elsewhere, the proposals are regarded as having a significant but beneficial impact along the Burgess Park edge, whilst having a minor to negligible impact on the northern sections of the site, creating a more acceptable relationship to adjoining heritage assets.
- 11.13 The FDS and Site Wide Development follows the massing suggested in the AAP in its placement of taller buildings along the Burgess Park that then reduce in height towards the northern, more sensitive parts of the site. This approach achieves important regeneration and urban design objectives such as increasing the legibility and permeability across the site, introducing safe streets, creating neighbourhoods, and providing attractive and usable open spaces.
- 11.14 The change in massing, including the increase on the park edge compared to the existing situation, also reflects the predicted growth for London, where population is expected to rise from 8.2 million in 2011, to 9.20 million in 2021 and 10.11 million in 2036 according to the new London Plan under preparation (1.10E, pp. 15, FALP 2014). In this same document, Southwark as a whole is expected to have a population increase of 20% to 29% during the same period.
- 11.15 As an outcome, increase in massing has recently been experienced at city level from the central areas towards Zone 2, and this pressure is being felt in the Elephant and Castle and Walworth area as well. Considering the cumulative developments, there will be a variety in massing from tall buildings of 23 to 44 storeys around the transport node (Elephant and Castle station), to 14 to 20 storeys on the Aylesbury Park edge. The proposals will therefore respond to the Area Action Plan, and also meet the London Plan aspirations without any major adverse visual impacts on heritage,

townscape or views in isolation or cumulatively with other foreseeable developments.

- 11.16 Demolition and construction will not be visible from a distance, except the erection of the other schemes with taller buildings around the transport node. In the immediacy of the site, there will be temporary short to medium-term effects of minor to moderate adverse significance impacting adjacent townscape character areas, local views and one heritage asset, the Liverpool Grove Conservation Area. Mitigation measures, such as decorative hoarding, and an environmental management plan for construction will have very positive impacts reducing the effects of those activities in the area.
- 11.17 Accepting the significance of permanent likely impacts within the full range between the maximum and minimum development parameters has been an integral part of the design approach, and many decisions have been taken on the basis of the principles established by the AAP.
- 11.18 Throughout the design process, the likely impact of the proposed development on built heritage assets, adjacent townscape and key views has been considered. This assessment has demonstrated from various angles of analysis how the proposals meet the objectives of minimising adverse visual impacts and creating visual improvements to achieve a new development seamlessly knitted with the surrounding city, a new place that is recognisably part of Walworth, and part of London.

12.00
REFERENCES

REFERENCES

- Ref. 1.1 CABE (Commission for Architecture and the Built Environment) and English Heritage, 2007, *Guidance on Tall Buildings*
- Ref. 1.2 Council of Europe, 2000, *The European Landscape Convention* (ELC), <http://www.coe.int> [Accessed 26/08/2014]
- Ref. 1.3 Department for Communities and Local Government, 2014, *Planning Practice Guidance: Conserving and enhancing the historic environment*, <http://planningguidance.planningportal.gov.uk/blog/guidance/conserving-and-enhancing-the-historic-environment/> [website, accessed 09.08.14]
- Ref. 1.4 Department for Communities and Local Government, 2014, *Planning Practice Guidance: Design*, <http://planningguidance.planningportal.gov.uk/blog/guidance/design/>, [website, accessed 09.08.14]
- Ref. 1.5 Department for Communities and Local Government (DCLG), 2012, *National Planning Policy Framework*, UK Government, https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf [Accessed 22/08/2014]
- Ref. 1.6 English Heritage, 2011, *Seeing the History in the View: A Method for Assessing Heritage Significance within Views*
- Ref. 1.7 English Heritage, 2011, *The Setting of Heritage Assets*
- Ref. 1.8 Greater London Authority, 2007, *London View Management Framework Supplementary Planning Guidance*, <http://legacy.london.gov.uk/mayor/strategies/sds/docs/spg-views-final-all.pdf> [Accessed 31/08/2014]
- Ref. 1.9 Greater London Authority, 2011, *The London Plan*, including Revised Early Minor Alterations (June 2012 & October 2013) and further draft alterations (January 2014), <https://www.london.gov.uk/priorities/planning/london-plan> [Accessed 22/08/2014]
- Ref. 1.10 Institute of Environmental Assessment (now IEMA) and Landscape Institute, 2013, *Guidelines for Landscape and Visual Impact Assessment 3rd Edition*
- Ref. 1.11 London Borough of Southwark, *Adopted Policies Map* (2011)
- Ref. 1.12 London Borough of Southwark, 2010, *Aylesbury Area Action Plan* (AAP), www.southwark.gov.uk [Accessed 25/08/2014]
- Ref. 1.13 London Borough of Southwark, 2009, *Aylesbury Area Action Plan Background Paper: Visual impact assessment*
- Ref. 1.14 London Borough of Southwark, 2011, *Core Strategy*, http://www.southwark.gov.uk/info/200210/core_strategy [Accessed 25/08/2014]
- Ref. 1.15 London Borough of Southwark, 2013, *The Southwark Plan UDP Saved Policies*, www.southwark.gov.uk [Accessed 25/08/2014]

APPENDIX A UNVERIFIED TEST VIEWS

View T2 East Street (east)

View T3 Albany Road (east)

View T4 Burgess Park (east)

View T5 St. George's Way

View T6 New Church Road

View T7 Camberwell Road

View T8 Wells Way near corner
with Cottage Green

View T9 Chandler Way

View T10 Upper Telegraph Hill Park

SITE NOT IN VIEW

View T11(1) Nunhead Grove

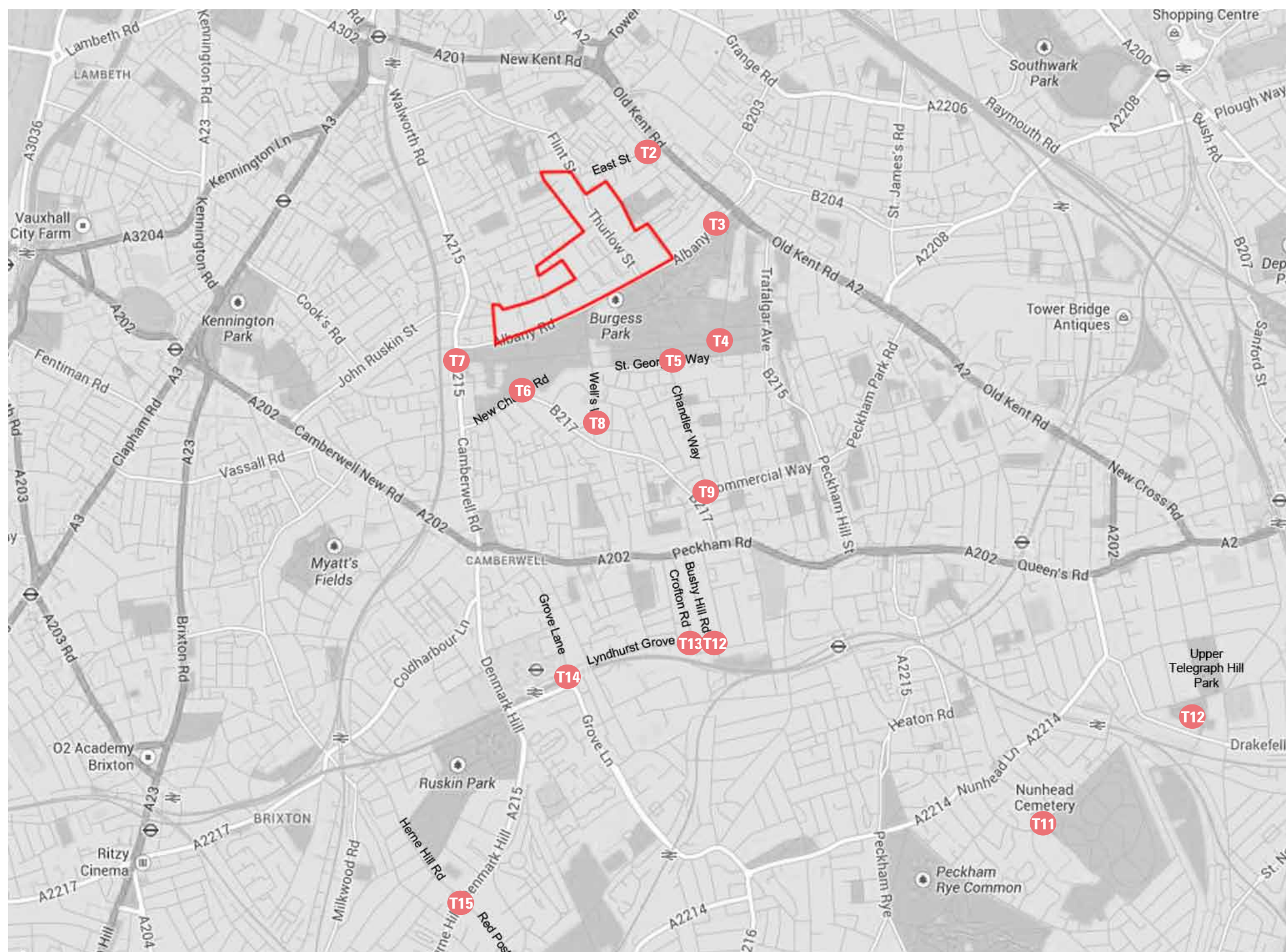
View T11(2) Nunhead Grove

View T12 Bushey Hill Road

View T13 Crofton Road

View T14 Grove Lane

View T15 Denmark Hill



VIEW T2
East Street (east)



VIEW T3
Albany Road (east)



VIEW T4
Burgess Park (east)



VIEW T5
St George Way



VIEW T6
New Church Road



VIEW T7
Camberwell Road



VIEW T8
Wells Way near corner with Cottage Green



VIEW T9
Chandler Way



VIEW T10
Upper Telegraph Hill Park



VIEW T11(1)

Nunhead Grove - Site not in view



VIEW T11(2)

Nunhead Grove - Site not in view



VIEW T12

Bushey Hill Road - Site not in view



VIEW T13

Crofton Road - Site not in view



VIEW T14

Grove Lane - Site not in view

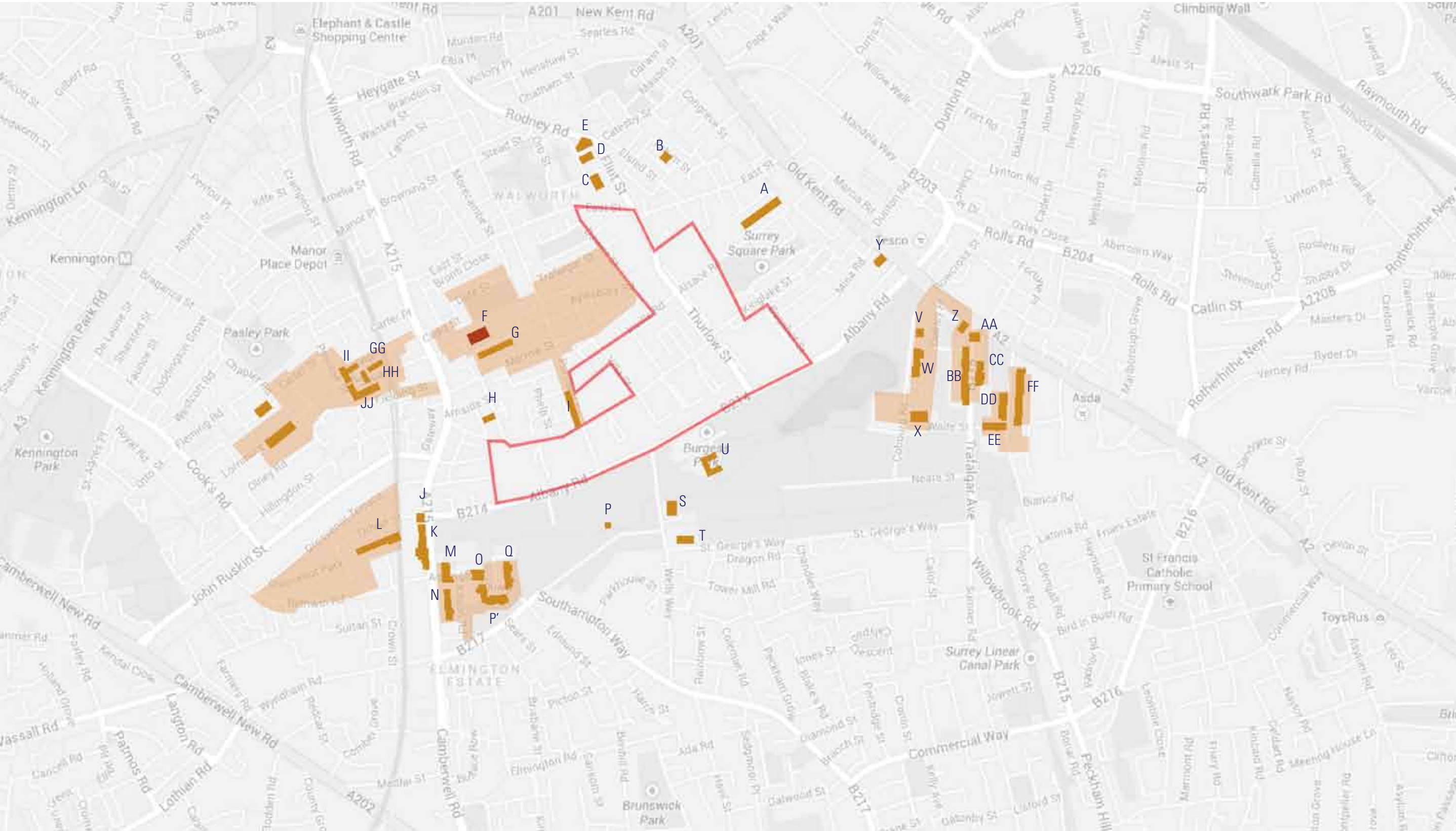


VIEW T15

Denmark Hill - Site not in view



LOCATION PLAN
Listed buildings



LISTED BUILDING A 20-54 Surrey Square

Id471368
20-54 Surrey Square
Grade II
Date of listing 27-Sep-1972

Listing description: 18 houses. 1793-4 with some partial rebuilding. By Searles. Yellow brick with some stucco dressings; coped parapet (slate mansard with dormers to Nos 20 & 44-48).

Id471369
Raised pavement in front of numbers 20-54 Surrey Square
Grade II
Date of listing 27-Sep-1972

Listing description: Raised, stepped stone pavement above street level, late C18.

Potential Impacts: Buildings face south away from development site. No windows face the development site so the development site cannot be seen from the buildings. View along Surrey Square shows Wendover building.

Conclusion: Visualisation required - View 02



View from No 36-38 Surrey Square towards development site

LISTED BUILDING B Church of St Christopher, Walworth and 80 Barlow Street

Id470554
Church of St Christopher, Walworth and 80 Barlow Street
Grade II
Date of listing 17-Sep-1998

Listing description: Pembroke College Mission, now Anglican church and house to right of church, No. 80. By Edward S Prior, completed by Herbert Passmore. Red brick in English Bond. A rare and nearly intact survival of an 'Oxbridge' mission building from the late C19.

Potential Impacts: The buildings face east away from the development. Views from the rear of the buildings is blocked by taller buildings to west. The development site can be seen when looking down the southern edge of the Church along Tatum Street.

Conclusion: Visualisation not required



View from corner of Tatum Street and Barlow Street with Church on right, looking along Tatum Street towards development site and Taplow building

LISTED BUILDING C

English Martyrs School (part)

Id470925
English Martyrs school (part)
Flint Street
Grade II
Date of listing 17-Sep-1998

Listing description: Formerly known as Flint Street School. 1875. By ER Robson; extended to rear 1904-5. For London School Board. Stock brick with red brick and terracotta detail; slate roof. The design of the original building is surprisingly bold and decorative for a board school of this date.

Potential Impacts: The school building faces east-west away from the development, although there may be oblique views from some of the windows.

The Taplow building on Aylesbury Estate can be seen from the school grounds. The houses and tree planting on East Street provide a two storey screen but the 15 storey Taplow building towers over the top.

Conclusion: Visualisation not required as View 01 will provide an understanding of impact from Flint Street



View from Deans Building (street) on eastern side of English Martyrs School towards Taplow building on development site



View from Deans Building (street) on western side of English Martyrs School towards Taplow building on development site

LISTED BUILDING D

Roman Catholic Church of the English Martyrs and English Martyrs Primary School

Id471230
Roman catholic church of the English Martyrs
Rodney Road
Grade II
Date of listing 27-Sep-1972

Listing description: Roman Catholic Church. 1902-3. By FW Tasker architect; altar and reredos by FG Broadbent & Partners, 1961; re-ordered 1980s. Yellow stock brick with random blue headers, red brick dressings and blue brick plinth; pitched slate roof with slender slated spirelet. Early English Gothic style.

Id470926
English Martyrs primary school
Flint Street
Grade II
Date of listing 27-Sep-1972

Listing description: 1904-5 . By Leonard Stokes. Yellow brick with random blue headers, red brick window dressings; slate roof (replaced) with small fleche. Faces Church of the English Martyrs, Rodney Road across former Northampton Place, now a playground.

Potential Impacts: The School and Church face east -west, although some upper windows of the School face the development site to the south. The School screens views from the Church to the development site. The taller existing buildings within the development site can be seen from the front and rear of the Church.

Conclusion: Visualisation not required as View 01 will provide an understanding of impact from Flint Street



View from the carpark at the rear of Church towards the development site with Taplow building in centre



View of Church from Rodney Road towards development site with Wendover on left and Taplow on right

LISTED BUILDING E

Presbytery to the Roman Catholic Church of the English Martyrs

Id471229
Presbytery to the roman catholic church of the English Martyrs
142 Rodney Road
Grade II
Date of listing 17-Sep-1998

Listing description: Presbytery. Early C20. Yellow stock brick with dark red brick dressings and slate roof. Rectangular plan. 3 storeys, basement and dormers to hipped roof with stakes to either side. Materials used match the Church of English Martyrs to which it is attached and with which it forms a group.

Potential Impacts: Presbytery faces east-west. the taller Church building screens the development site from the presbytery on all sides.

Conclusion: Visualisation not required as View 01 will provide an understanding of impact from Flint Street



View of Presbytery from Rodney Road

LISTED BUILDING F
Church of St Peter

Id471066
Church of St Peter
Liverpool Grove
Grade I
Date of listing 02-Mar-1950

Listing description: 1823-1825. Sir John Soane, interior restored after war damage by Thomas Ford, 1953-55. Yellow stock brick with stone details.

Potential Impacts: The church is aligned east-west, facing towards the west away from the development site. The existing Aylesbury Estate can only be seen from the northeast corner of the churchyard where one building (probably Bradenham) can be seen above the two storey terrace houses on the south side of Liverpool Grove.

Conclusion: Due to the Church of St Peter's being the only Grade I listed structure near the development site, a visualisation is provided along Liverpool Grove - View 16 - to prove the setting of the church is unaffected.



View from rear of Church of St Peters to south towards development site

LISTED BUILDING G
28-52, 54, 56 and 58 Liverpool Grove

Id471064
28-52 Liverpool Grove
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 13 houses. Early C19. Yellow brick with stucco parapet, rising as a low pediment over central, slightly projecting sections. Group value with the Church of St Peter in square.

Id471065
54, 56 and 58 Liverpool Grove
Grade II
Date of listing 17-Sep-1998

Listing description: 3 terraced houses. Early C19. 2 storeys and 2 windows each. Brick in Flemish bond. Roof parapeted. The units form a group with Nos 28-52 (even) Liverpool Grove and with St Peter's Church.

Potential Impacts: The terrace houses face north away from the development. Views of the development may be gained from upper rear windows. The existing Aylesbury Estate cannot be seen during the summer months looking east along Liverpool Grove due to tree planting. The estate also cannot be seen looking south along Lythan Street due to a five storey building blocking views to the south.

Conclusion: Due to the Church of St Peter's being the only Grade I listed structure near the development site and the Liverpool Grove conservation area, a visualisation is provided along Liverpool Grove - View 16 - to prove the setting of the church is unaffected.



View east along Liverpool Grove towards development site



View south down Lythan Street towards development site from Liverpool Grove

LISTED BUILDING H
Harker’s Studio

Id471219
Harkers Studio
Queens Row
Grade II
Date of listing 20-Jul-1989

Potential Impacts: The building faces east away from the development site. The existing estate building (Chartridge 1-68) can be seen at the southern end of Queens Row. Views of the development from the windows of the building would not be possible.

Listing description: Painting rooms for theatrical scenery. 1904, part rebuilt mid C20. For Joseph Harker. English bond brick; gabled roof mostly glazed. Open plan. An important and rare survival of a theatrical scene-painting workshop, named after Joseph Harker (1855-1927) who was one of the most important theatrical scene painters of his day, having made this reputation through his designs for Henry Irving’s productions at the Lyceum.

Conclusion: Visualisation not required



LISTED BUILDING I

1, 1A, 3-11, 13-23 and Aycliffe House Portland Street

Id471201
1, 1A and 3-11 Portland Street
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 7 cottages. c1903-14. By Cluttons. Yellow brick with red brick details, high pitched, red tiled roof above red brick stepped cornice; stuccoed plinth. Formed part of the Brandon Estate, an example of “homely” working class housing; erected by the Ecclesiastical Commissioners under the guidance of Octavia Hill. Aycliffe House and Nos 1, 1A & 3-23 (odd) form a group.

Id471202
13-23 Portland Street
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 6 cottages. c1903-14. By Cluttons. Yellow brick with red brick details, high pitched, red tiled roof above red brick stepped cornice; stuccoed plinth. Formed part of the

Brandon Estate, an example of “homely” working class housing; erected by the Ecclesiastical Commissioners under the guidance of Octavia Hill. Aycliffe House and Nos 1, 1A & 3-23 (odd) form a group.

Id471203
Aycliffe House
Portland Street
Grade II
Date of listing 27-Sep-1972

Listing description: c1903-1914. . Yellow brick with red brick details, high pitched, hipped tiled roof above red brick stepped eaves cornice; dark glazed brick plinth. This house and following terrace, Nos 1, 1A & 3-23 Portland Street, form part of the Brandon Estate, an example of “homely” working class housing; erected by the Ecclesiastical Commissioners under the guidance of Octavia Hill.

Potential Impacts: The row of terrace houses face east towards Michael Faraday School and the

development site. The school boundary is edged by two existing buildings; Missenden 1-43 and Missenden 76-165 which are both seen from the houses. The CHP chimney can also be seen above Missenden 76-165.

The 15 storey Chiltern building is also seen when standing on Portland Street looking south, although views of this building would not be possible within the houses. There is a strong juxtaposition between the Chiltern building and the three storey end terrace of the houses.

Conclusion: As the Chiltern building is part of the First development Site whilst the Missenden buildings are part of Phase 4, a visualisation looking south down Portland Street is to be provided - View 15.



View west from Portland Street between Chiltern and southern end of Conservation Area



View northeast from Portland Street towards Missenden 1-43



View east from Portland Street towards Missenden 76-165



View south along Portland Street towards Chiltern

LISTED BUILDING J
62 and 64 Camberwell Road

Id470748
62 and 64 Camberwell Road
Grade II
Date of listing 27-Sep-1972

Listing description: Pair of houses, part in use as car showroom. Early C19. Amber brick with stucco cornice and blocking course.

Potential Impacts: Buildings face east towards development site. Potential distant views to development site from upper windows. No views of development from street level due to close urban form. Development will not be viewed when facing the buildings as buildings are east facing.

Conclusion: Visualisation not required although View 14 will provide an understanding of impact from Albany Road



LISTED BUILDING K
66-84 and 86 & 86A Camberwell Road

Id470749
66-84 Camberwell Road
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 10 houses. Early C19. Amber brick with stucco basement (Nos 66 & 68 rendered); slate mansards with Dormers.

Id470750
86 and 86A Camberwell Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 semi-detached houses, No. 86 formerly stone mason's premises). Late C18/early C19 and later. Nos. 86 & 86A form a group with Nos 88-92.

Potential Impacts: Buildings face east towards development site. Distant views to development site from street and upper windows although filtered by traffic, trees and Phase 1A. Development will not be viewed when facing the buildings as buildings are east facing.

Conclusion: Visualisation not required although View 14 will provide an understanding of impact from Albany Road



View from 68 Camberwell Road towards development site (Bradenham Building)



View from gate of 86 and 86A Camberwell Road towards development site (Bradenham Building)

LISTED BUILDING L 30 and 31-36 Urlwin Street

Id471442
30 Urlwin Street
Grade II
Date of listing 17-Sep-1998

Listing description: House. Mid C19. Stucco scored to imitate ashlar. Part of a strong group consisting of Nos 24-30 (consec) all of which conform to a single type.

Id471443
31-36 Urlwin Street
Grade II
Date of listing 17-Sep-1998

Listing description: 6 terraced houses. Early C19. Brick in Flemish bond, some with stucco dressing and facings.

Potential Impacts: Buildings face north away from development site. Development site cannot be seen from street level due to railway embankment and bridge and buildings between railway and development site. No views from upper floors as end terrace on eastern side (No 36) has no windows facing east. Development will not be viewed when facing the buildings as development cannot be seen within the buildings' setting.

Conclusion: Visualisation not required

LISTED BUILDING M 117-129 Camberwell Road

Id470752
117-129 Camberwell Road
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 7 houses. Early C19. Yellow brick with parapets.

Potential Impacts: Buildings face west away from development site. Potential distant views to development site from upper rear windows. Development may be seen behind Phase 1A development to the north when facing the buildings.

Conclusion: Visualisation not required



View from under railway bridge towards Camberwell Road



View from Camberwell Road towards development site (Bradenham Building) behind Phase 1A

LISTED BUILDING N
131-155 Camberwell Road

Id470753
131-155 Camberwell Road
Grade II
Date of listing 30-Jun-1954

Conclusion: Visualisation not required

Listing description: terrace of 13 houses. Early C19.
Yellow brick with stucco cornice and blocking course.

Potential Impacts: Buildings face west away from development site. Potential distant views to development site from upper rear windows. Development will not be viewed when facing the buildings as height of buildings and close urban form will screen any views of the future development. Potential distant and partially screened view through trees and buildings at street level on corner of Camberwell Road and Addington Square.



View from corner Camberwell Road and Addington Square towards development site

LISTED BUILDING O
47 and 48 Addington Square

Id470530
47 and 48 Addington Square
Grade II
Date of listing 27-Sep-1972

Development will not be viewed when facing the buildings as buildings are north and east facing.

Conclusion: Visualisation required - View 13

Listing description: Pair of houses, earlier C19. Multi-coloured stock brick, low pitched, hipped slate roof with deep bracketed eaves soffit.

Potential Impacts: Buildings face east with oblique views to the development site. However, the trees within Addington Square and Burgess Park provide a filtered screen. Potential filtered views through trees to development site from front and side windows.



View from north edge of Addington Square across Burgess Park towards development site (Bradenham Building) and Phase 1A



View from No 47 and 48 across Burgess Park towards development site (Bradenham Building)

LISTED BUILDING P
37-8, 9-10, 11, 13-16 and 17-20 Addington Square

<p>Id470523 7 and 8 Addington Square Grade II Date of listing 27-Sep-1972</p> <p>Listing description: Pair of houses, early C19. Stucco with cornice and blocking course.</p>	<p>Id470525 11 Addington Square Grade II Date of listing17-Sep-1998</p> <p>Listing description: Originally a pair of semi-detached houses, thrown together during conversion to flats. Despite later alterations, this pair has strong group value with Nos 7-11, 13-20, 33-42 & 47-48.</p>	<p>Id470527 17-20 Addington Square Grade II Date of listing 27-Sep-1972</p> <p>Listing description: Terrace of 4 houses, early C19. Yellow brick with low pitched slate roof behind coped parapet.</p> <p>Potential Impacts: Buildings face north and north-east towards development site. However, the trees within Addington Square provide a screen from most houses. Only edge of First Development site has potential to be seen due to buildings on eastern side of square. Potential filtered views through trees to development site from front windows. Development will not be viewed when facing the buildings as buildings are north facing.</p>	<p>Conclusion: Visualisation required - View 13</p>
<p>Id470524 9 and 10 Addington Square Grade II Date of listing17-Sep-1998</p> <p>Listing description: Pair of semi-detached houses. Early C19. Brick in Flemish bond with stucco dressings. Despite later alterations, this pair has strong group value. Nos 7-11, 13-20, 33-42 & 47-48 form a group.</p>	<p>Id470526 13-16 Addington Square Grade II Date of listing 17-Oct-1979</p> <p>Listing description: Short, symmetrical terrace of 4 houses in unified composition, early-mid C19.</p>		



View from between No 19 and 20 to eastern edge of Addington Square and towards development site (Bradenham Building)



View from No 7 and 8 across Burgess Park towards development site



View from No 13 and 16 across Addington Square towards development site

LISTED BUILDING Q
33-37 and 38-42 Addington Square

Id470528
33-37 Addington Square
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 5 houses, early C19.

Potential Impacts: Buildings face west away from development site. Potential views to development site from upper rear windows. Development will not be viewed when facing the buildings as buildings are west facing.
Conclusion: Visualisation required - View 13

Id470529
38-42 Addington Square
Grade II
Date of listing 17-Sep-1998
Listing description: 5 terraced houses. Early C19.



View from outside No 38 to edge of No 42 and development site (Bradenham Building)

LISTED BUILDING R
Lime Kiln

Id470695
Lime kiln, south south west of junction of Albany Road and Wells Way
Burgess Park
Grade II
Date of listing 17-Sep-1998

Listing description: Lime kiln, built for the manufacture of Roman cement. Early C19.
Potential Impacts: Kiln is located within open parkland within sight of the development site. A mound to the north of the kiln obscures part of the view of the development site from the kiln.

Conclusion: Visualisation required - View 11



View towards kiln and development site from southeast of kiln



View towards development site from path junction to southwest of kiln



View towards development site from norther side of kiln

LISTED BUILDING S
Groundworks Trust Offices

Id471459
Groundwork trust offices, and attached chimney
Wells Way
Grade II
Date of listing 27-Sep-1972

Listing description: Public baths and wash house, later public library and sports club, now offices. 1902. By Maurice Adams, architect. Picturesque group combining different styles in its various features.

Id471460
Piers and railings to groundwork trust offices
Wells Way
Grade II
Date of listing 27-Sep-1972

Listing description: Piers and railings. C1902. Wrought iron corner pylons flanking main entrance to former baths and decorative wrought-iron railings continuing around building with fleur-de-lys standards at intervals.

Potential Impacts: Building faces north across Burgess Park towards development site. Potential view to development site from northern entrance although partially obscured by trees. Potential view of development site from entrance on Wells Way. Development will be viewed around the building from Burgess Park and Wells Way although the view will be filtered by close tree planting within the Park.

Conclusion: Visualisation not required although View 10 will provide an understanding of impact from Wells Road



View towards development site from entrance northern face of building



View towards development site from entrance on Wells Way

LISTED BUILDING T
Commissioners Church

Id471458
Former Church of St George
Wells Way
Grade II
Date of listing 30-Jun-1954

Listing description: Commissioners Church, now in residential use. 1822-24. By Francis Bedford, architect; apse by Basil Champneys, 1893. Stone. Classical style. Rectangular plan.

Potential Impacts: Building face west across Burgess Park away from development site. Potential filtered views to development site from north-facing second storey windows through trees although street level view obscured by trees. Development will not be viewed when facing the buildings from Burgess Park. Development will be seen when travelling north

on Wells Way although unlikely to affect setting of building due to the large number of trees surrounding the building and that the building is set back from the road.

Conclusion: Visualisation not required although View 10 will provide an understanding of impact from Wells Road



View from Burgess Park to Commissioners Church showing trees screening building from development site



Photo of area between Commissioners Church and Burgess Park showing trees screening building from development site

LISTED BUILDING U
Almshouses

Id470781
Almshouses, centre range
Chumleigh Gardens
Grade II
Date of listing 12-Mar-1996

Listing description: c1840. Brick in Flemish bond. The centre range of a U-shaped group with the open side to the east. Forms a strong group with the North and South Ranges.

Id470782
Almshouses, north range
Chumleigh Gardens
Grade II
Date of listing 12-Mar-1996

Listing description: Early C19. Brick in Flemish bond. Forms the north side of this U-shaped group. Part of a very strong group and bilaterally symmetrical with the South Range.

Id470783
Almshouses, south range
Chumleigh Gardens
Grade II
Date of listing 12-Mar-1996

Listing description: Range Early C19. Brick in Flemish bond. This range forms southside of this U-shaped group, and is identical in materials and design to north range. The 3 blocks form a strong group.

Potential Impacts: Range faces east away from development site. Views from north range northern windows to development site. Development will be viewed within the context of the buildings.

Conclusion: Visualisation required - View 09



View from North Almshouse across Chumleigh Gardens playground towards development site

LISTED BUILDING V
29 and 31 Cobourg Road

Id470786
29 and 31 Cobourg Road
Grade II
Date of listing 27-Sep-1972
Listing description: Pair of houses. C1800. Yellow brick with stucco dressings and basement. Brick parapet.

Potential Impacts: Buildings face west across Burgess Park towards development site. Views to development site from upper windows although street level view obscured by trees. Development will not be viewed when facing the buildings as buildings are west facing.

Conclusion: Visualisation not required although View 05 will provide an understanding of impact from Cobourg Road



View from Nos 29 Cobourg Road towards development site

LISTED BUILDING W
49, 51, 53, 55, 57, 59, 61 and 63 Coburg Road

Id470788
Hanover House, 49 Cobourg Road
Grade II
Date of listing 24-Jan-1986
Listing description: c1824. Brick with stucco cornice and blocking course.Nos 47-63 (odd) for a group.

Id470789
51 and 53 Cobourg Road
Grade II
Date of listing 24-Jan-1986

Listing description: Pair of houses. C1820-25. Brick with plain parapet. Nos 47-63 (odd) for a group.

Id470790
55 Cobourg Road
Grade II
Date of listing 24-Jan-1986

Listing description: House. C1820-25. Brick with plain parapet. Nos 47-63 (odd) for a group.

Id470791
Rosetta place
57 and 59 Cobourg Road
Grade II
Date of listing 24-Jan-1986

Listing description: Pair of houses. Datestone 1822. Brick with plain parapet. Nos 47-63 (odd) for a group.

Id470792
61 and 63 Cobourg Road
Grade II
Date of listing 24-Jan-1986

Listing description: Pair of houses. C1820-25. Stucco; pantiled roof with gable end to street. Nos 47-63 (odd) for a group.



View from 51 and 53 Coburg Road across Burgess Park towards development site

Potential Impacts: Buildings face west across Burgess Park towards development site. Views to development site from all upper windows although street level view obscured by trees outside Nos 49 and partially screened outside 51 and 53. Development will not be viewed when facing the buildings as buildings are west facing.

Conclusion: Visualisation required - View 05



View from 61 and 63 Coburg Road across Burgess Park towards development site

LISTED BUILDING X

New Peckham mosque (former Church of St Mark)

Id470793
New Peckham mosque (former church of St Mark),
Cobourg Road
Grade II
Date of listing 30-Jun-1954

Listing description: 1879-80. By Norman Shaw, completed at west end 1931-2 by Victor Heal. A hall church with wide, double-aisled 3-bay nave, chancel and short chancel aisles; some Perpendicular detail.

Potential Impacts: Development unlikely to be seen from within building due to narrow windows and buildings on western side of street. Development can be seen from western side of Coburg Road between existing school building. However, the impact of this view will be limited as the future development will be difficult to see between the buildings, fence and trees. Potential distant view of development within building setting when viewed from Trafalgar Avenue.

Conclusion: Visualisation required - View 06



View between school buildings to development site



View from corner of Glengall Terrace and Trafalgar Avenue towards New Peckham mosque (former church of St Mark) and development site

LISTED BUILDING Y

Former Fire Station

Id471148
Former fire station
306-312 Old Kent Road, corner with Shorncliffe Road
Grade II
Date of listing 27-Apr-1989

Listing description: 1903-04 by LCC Architects' Department. Four storeys and attic, 6 bays. Projecting ground-floor elevation of stone ashlar with stone mullioned and transomed windows. Banded brick and stone facade.

Discussion of Potential Impacts: Development site may be seen from upper windows of the building. Potential view of development from outside side entrance of building along Shorncliffe Road past the Walworth Academy. View 03 along Albany Road will provide similar view arrangement. Unlikely that development will be seen in the context of the building due to the close urban form of Old Kent Road and Shorncliffe Road.

Conclusion: Visualisation not required



View from corner of Shorncliffe Road and Old Kent Road

LISTED BUILDING Z

Lord Nelson Public House

Id471412
Lord Nelson public house
Corner of Trafalgar Avenue and Old Kent Road
Grade II
Date of listing 27-Sep-1972

Listing description: Early C19 with later alterations.
Yellow brick with stucco parapet and dressings.

Discussion of Impacts: Development site may be seen from upper windows of the building. Possible but unlikely distant view of towers from proposed development site above building from Old Kent Road.

Conclusion: Visualisation not required



View from corner of Trafalgar Avenue and Old Kent Road

LISTED BUILDING AA

1 and 3 Trafalgar Avenue

Id471403
1 and 3 Trafalgar Avenue
Grade II
Date of listing 27-Sep-1972

Listing description: House with two dwellings. 1780, altered c1820-30. Yellow brick with stuccoed frontage.

Discussion of Potential Impacts: Development site may be seen from upper windows of the building. Potential distant view of development along nearby Nile Terrace. Development will not be seen in the context of the building because it is on eastern side of street facing away from the development.

Conclusion: Visualisation not required



View from corner of Trafalgar Avenue and Nile Terrace

LISTED BUILDING BB
16-24, 26-40, 42-48 Trafalgar Avenue

Id471405
16-24 Trafalgar Avenue
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 5 houses. 1851-2. Yellow brick with stucco dressings and stucco banded rustication to ground floor and basement.

Id471408
26-40 Trafalgar Avenue
Grade II
Date of listing 27-Sep-1972
Listing description: Terrace of 8 houses. 1851-2. Yellow brick with stucco dressings and stucco banded rustication to ground floor and basement.

Id471409
42-48 Trafalgar Avenue
Grade II
Date of listing 27-Sep-1972

Listing description: 4 houses. 1851-2. Yellow brick with stucco dressings and basement.

Discussion of Potential Impacts: All buildings on western side of street facing east. Potential views of development from upper floors. Development site cannot be seen from Trafalgar Avenue due to the close urban form of the street.

Conclusion: Visualisation not required

LISTED BUILDING CC
25-43 Trafalgar Avenue

Id471406
25-43 Trafalgar Avenue
Grade II
Date of listing 17-Sep-1998

Listing description: 10 terrace houses. Early C19. Stucco treated as banded rustication to ground floor, and brick Flemish above.

Discussion of Potential Impacts: All buildings on eastern side of street facing west towards the development site. Potential views of development from upper floors. Development site will not be seen in the context of the buildings because it is on eastern side of street away from the development.

Conclusion: Visualisation not required

LISTED BUILDING DD
24 and 26, 28 and 30, 32 and 34, 36 and 38 Glengall Road

Id470960
24 and 26 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves.

Id470962
28 and 30 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves.

Id470964
32 and 34 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves.

Id470966
36 and 38 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves.

Discussion of Potential Impacts: All buildings on western side of street facing east away from the development site. Potential views of development from upper floors across open space and Burgess Park although large number of trees may screen or partially screen views. Development site cannot be seen from Glengall Road due to the height of the buildings and the close urban form of the street.

Conclusion: Visualisation not required

LISTED BUILDING EE
1-9 Glengall Terrace

Id470968
1-9 Glengall Terrace
Grade II
Date of listing 27-Sep-1972

Conclusion: Visualisation not required although View 06 will provide an understanding of impact from Trafalgar Avenue

Listing description: Terrace of 9 houses. C1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with low pitched slate roof with overhanging eaves.

Discussion of Potential Impacts: All buildings on southern side of street facing north away from the development site. Potential distant view of development site from corner of Glengall Terrace and Trafalgar Avenue. Unlikely that the development site will be seen in the context of the buildings due to their orientation, their distance from the development site and tree coverage within Burgess Park.



View from corner of Glengall Terrace and Trafalgar Avenue towards development site

LISTED BUILDING FF
13 and 15, 21 and 23, 17 and 19, 25 and 27 Glengall Road

Id470957
13 and 15 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves. Pair houses in row of 9 identical, semi-detached pairs facing similar row of 4; Nos 1-35 (odd) and 24-38 (even) form a group.

Id470959
21 and 23 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves. Pair houses in row of 9 identical, semi-detached pairs facing similar row of 4; Nos 1-35 (odd) and 24-38 (even) form a group.

Id470958
17 and 19 Glengall Road
Grade II



View from No. 13 Glengall Terrace across open space to Trafalgar Avenue and development site

Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves. Pair houses in row of 9 identical, semi-detached pairs facing similar row of 4; Nos 1-35 (odd) and 24-38 (even) form a group.

Id470961
25 and 27 Glengall Road
Grade II
Date of listing 27-Sep-1972

Listing description: 2 houses. C1843-1845. Probably by the Brighton architect, Amon Henry Wilds. Stucco with hipped slate roof with overhanging eaves. Pair houses in row of 9 identical, semi-detached pairs facing similar row of 4; Nos 1-35 (odd) and 24-38 (even) form a group.

Discussion of Potential Impacts: All buildings on eastern side of street facing towards the development site. Potential distant views of development from upper floors and from front of No 13 across open space and Trafalgar Avenue although large number of trees may screen or partially screen views. The development site will be seen in the context of the buildings due to their orientation.

Conclusion: Visualisation not required

LISTED BUILDING HH
51-54 Sutherland Square

Id471375
51-54 Sutherland Square
Grade II
Date of listing 17-Sep-1998

Listing description: 4 houses. 1810-1835. Brick in Flemish bond with stucco dressings. Hipped roofs of concrete tile and slate. Included for group value.

Potential Impacts: Buildings face north away from development. Development site cannot be seen from street level due to close urban form, railway embankment and bridge. Development will not be viewed when facing the buildings as development cannot be seen within the buildings’ setting.

Conclusion: Visualisation not required



View from Sutherland Square (north road) towards development site

LISTED BUILDING HH
55-60 Sutherland Square

Id471376
55-60 Sutherland Square
Grade II
Date of listing 17-Sep-1998

Listing description: 6 houses. 1810-1835. Brick in Flemish bond with stucco dressings. Included for group value.

Potential Impacts: Buildings face west away from development. Potential distant view from upper rear windows although likely to be screened by buildings and trees. Development site cannot be seen from street level due to close urban form, railway embankment and bridge. Development will not be viewed when facing the buildings as development cannot be seen within the buildings’ setting.

Conclusion: Visualisation not required

LISTED BUILDING II
34, 35, 36-40 Sutherland Square

Id471374
36-40 Sutherland Square
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 5 houses. 1810-1830. Yellow brick with stucco dressings; slate roof with round-headed dormers; deep bracketed wood eaves cornice.

Id471372
34 Sutherland Square
Grade II
Date of listing 27-Sep-1972

Listing description: House c1845. Yellow brick with stucco dressings; low pitched hipped slate roof; deep eaves soffit with paired brackets.

Id471373
Sutherland House
35 Sutherland Square
Grade II
Date of listing 27-Sep-1972

Listing description: House, now welfare clinic. C1845. Yellow brick with stucco dressings; low pitched hipped slate roof; deep eaves soffit.

Potential Impacts: Buildings face east and south. Development site cannot be seen from street level due to close urban form, railway embankment and bridge. Development will not be viewed when facing the buildings as development cannot be seen within the buildings’ setting.

Conclusion: Visualisation not required

LISTED BUILDING JJ
20-29, 30-33 Sutherland Square

Id471370
20-29 Sutherland Square
Grade II
Date of listing 27-Sep-1972

Listing description: Terrace of 10 houses. Early C19. Yellow brick with stucco dressings, slate roof with stucco eaves cornice (roof extension to No. 22)

Id471371
30-33 Sutherland Square
Grade II
Date of listing 27-Sep-1972

Listing description: 4 houses. 1810-1830. Yellow brick with slate roof, stucco eaves cornice and dressings.

Potential Impacts: Buildings face north away from development site. Development site cannot be seen from street level due to railway embankment and bridge and buildings between railway and development site. Development will not be viewed when facing the buildings as development cannot be seen within the buildings’ setting.

Conclusion: Visualisation not required



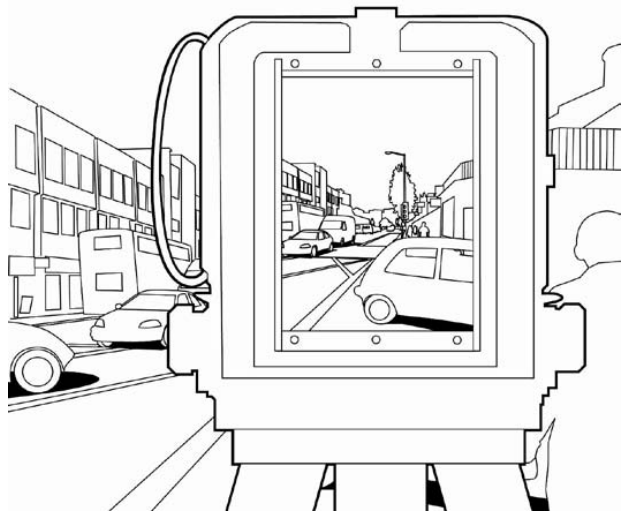
View from Sutherland Square (south road) towards development site

APPENDIX B
VERIFIED VIEW
METHODOLOGY
(GMJ)

GMJ Planning Views Methodology Statement

There are 4 stages to creating accurate planning photomontages.

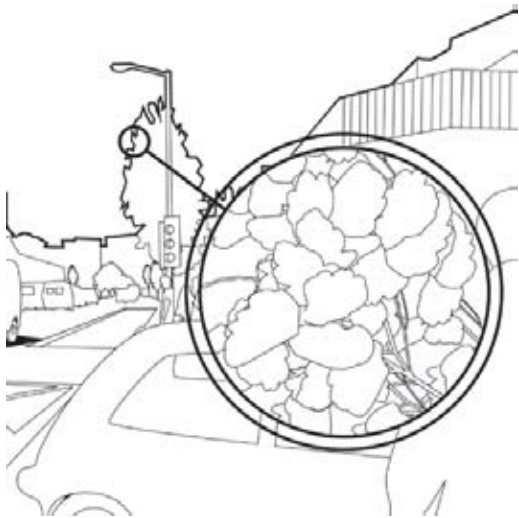
- 1. Photography
- 2. Survey
- 3. 3D Visual Alignment
- 4. Rendering



1.0 Photography

The photography for an Accurate Visual Representation must be:

- Of high quality and sufficient resolution
- A natural, undistorted, perspective – So the foreground does not dominate the subject
- Level and corrected for vertical convergence – So all vertical lines are parallel
- Well documented – in terms of camera position, equipment used, date and time of day



1.1 Cameras

To obtain the highest possible quality of image GMJ's photographer uses either:

- A 5x4 camera with a digital back
- A 35mm (full frame) digital camera.

The digital cameras are both capable of creating images of at least 5000 pixels wide, the minimum required for high quality visual representation.

High resolution imagery is important for the purposes of printing but also to allow the clear determination of detailed features during the process of alignment.



1.2 View Angle

GMJ use lenses that minimise perspective distortion. A horizontal view angle of approximately 40 degrees creates a natural perspective; this is achieved by using 150mm lenses on our 5x4 camera and a 50mm lens on our 35mm camera.

Minimal perspective distortion means that the subject of the image is not dominated by foreground elements, which are stretched at the extremities of the photograph in a wide angle view.

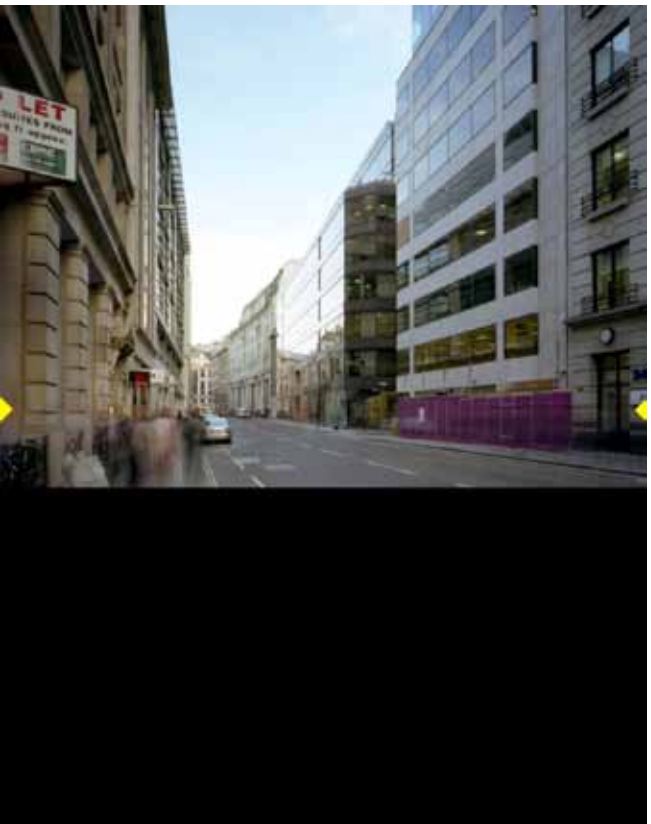
Where the subject is a long distance from the viewpoint a supplemental “zoom in” photograph is also taken. For this we use a lens with a 13 degree field of view, approximating the angle subtended by the human eye when focussing on a distant detail.



1.2 View Angle

Where a 40 degree view angle is too small to contain the entire view horizontally a wider lens is used, and a 40 degree portion marked on the final output.

As required, this wide angle shot will also be accompanied by two separate photographs from the same viewpoint position looking to the left and right. This positions the subject in the central – undistorted –portion of each.



1.3 Shift Lens

Where there is a requirement to fit more into the frame vertically we do not tilt the camera. GMJ's photography is obtained with a level camera in all axes. This means there is no convergence of the verticals and the horizon is level and centred in the image.

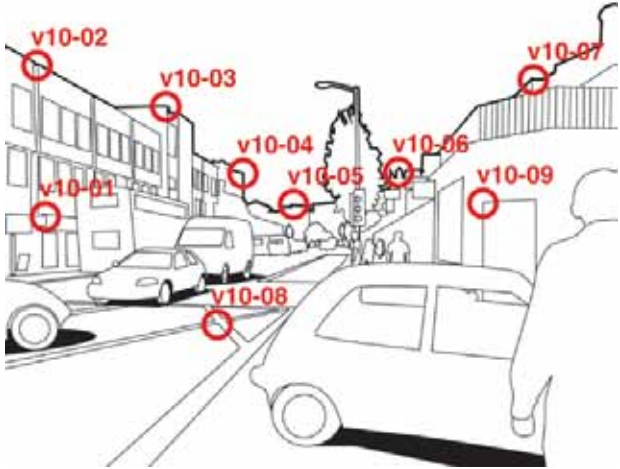
The rising front capability of the camera is employed to introduce a degree of "shift" into the photograph, shifting the horizon up or down and allowing more into the frame above or below it without distorting the verticals in the image.

1.5 Preparation

If the photograph was taken using an architectural shift lens then the horizon will have been shifted on the image, either up or down. For accurate alignment to be possible the perspective vanishing point – and hence the horizon – has to be centred in the image.

A calculation (based on the degree of shift used in the photography and the resolution of the image) is used to obtain the amount of vertical movement required to move the horizon to the centre of the image.

At this stage any small errors in the mechanical levelling of horizon are corrected.



1.4 Documentation

Measurements taken on site by the photographer include the height of the camera above the ground (normally around 1.6m to recreate normal eye height) and the amount of shift used. The exact location of the camera is marked on the pavement.

The photographer also records the date and time of day the photograph was taken and information on the lens and shutter settings.

2.0 Site Survey

Surveyors visit the site of each photograph and obtain Differential GPS readings for the marked location of the camera. As well as this they will isolate a minimum of nine points per photograph and take GPS readings of each.



2.0 Site Survey

These locations are points of contrast in the image and will be later used to align 3D CAD data with the photography. The points are organised so there are equal numbers in the foreground, the mid-ground and in the distance to represent an even spread of 3D co-ordinates.

All the GPS readings are converted into National Grid co-ordinates and tabulated.



3.0 Visual Alignment

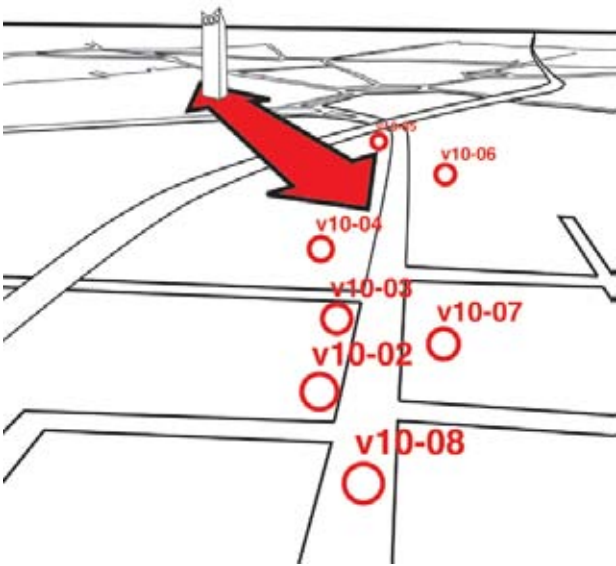
The site photography and survey are combined in a visualisation system along with 3D data representing the scheme to accurately position it on site. This process includes:

- Modelling the proposal and context
- Combining the survey and digital model into a common co-ordinate system
- Creating virtual versions of the real-world cameras
- Overlaying the model onto photographic backdrop

3.1 CAD Modelling

A 3 dimensional CAD model of the development is created in a visualisation system (PC based application "3D studio Max"). This is based on digital plans and elevations supplied to GMJ by the architects, and positioned with reference to the architects site survey.

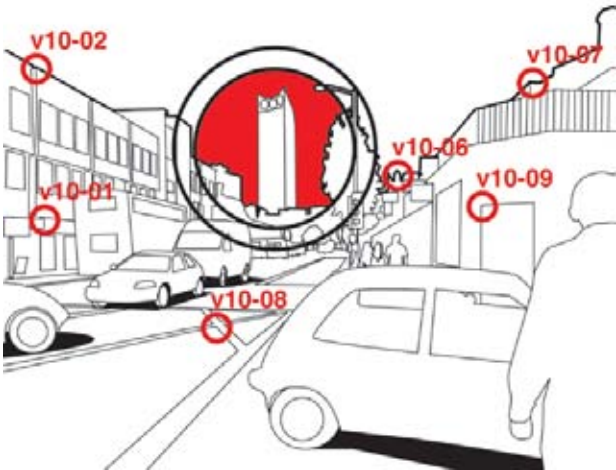
If the site is in central London then we use our GMJ London Citymodel for the purposes of creating accurate reflections and shadows from the locality at the rendering stage. Otherwise a simple digital model of the site context is created.



3.2 Survey data

Planning data supplied to us by surveyors is combined with the corrected photograph and the newly created 3D CAD model. The data includes 3 dimensional survey points relating to notable points on each photograph as well as the position of the camera.

A "virtual" camera is created at the surveyed position and the rest of the data is positioned by GMJ so the relative distances between camera, surveyed points, and the new building correspond with the "real world" distances between them



3.3 Virtual Cameras

The visualisation system can simulate actual 35mm cameras. If a 5x4 format camera was used for the photography then they are adjusted to more accurately represent 5x4 lenses. We use a formula based on a conversion factor derived from the difference in film (or sensor) sizes between the two formats.

3.4 Overlaying Model

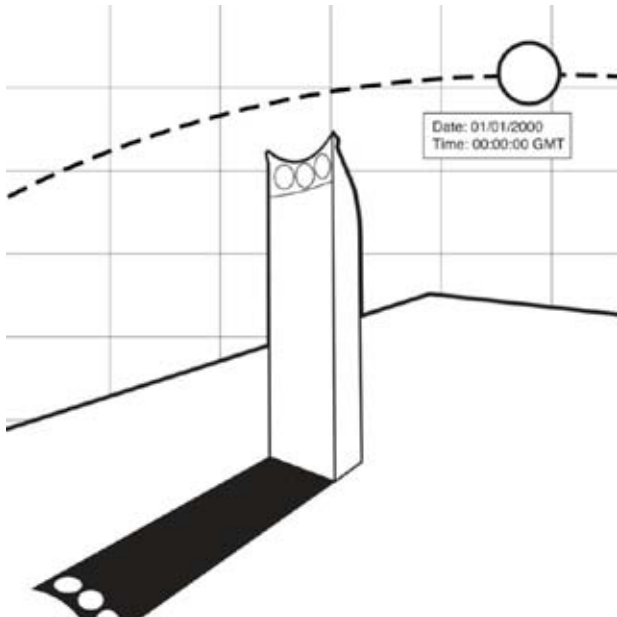
The corrected photography is used as a backdrop to the "scene". Looking at the 3D data using the virtual cameras superimposes it on to the backdrop. At this stage further adjustments to the view angle and the position of the camera are undertaken to visually align the 3D surveyed points to their corresponding areas on the photography.



4.0 Rendering

The process of creating a photorealistic image from a 3d CAD model is called rendering and relies on :

- Lighting simulation
- The application or synthesis of architectural materials
- Post production

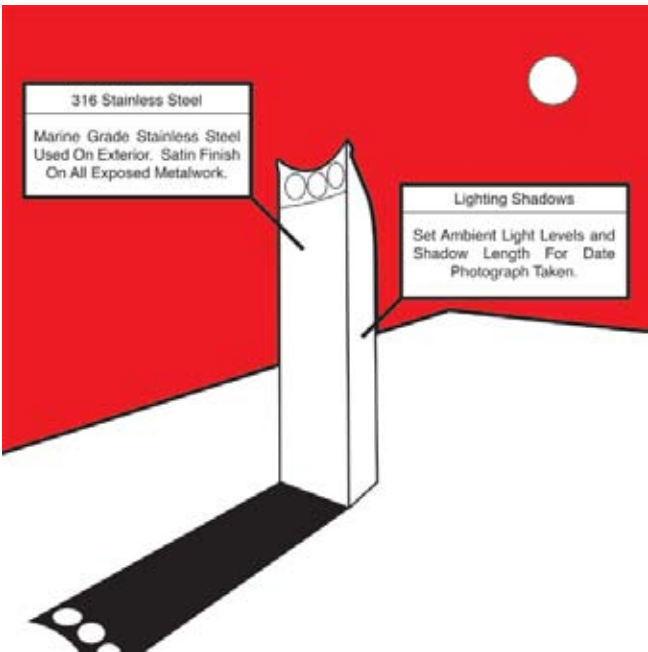


4.1 Lighting

The exterior lighting is a simulation of the real world conditions called a daylight system, which can accurately position the sun in the sky at any time of day on any day of the year. The photograph itself also functions as a light source within this configuration to create accurate colourations of the model.

Interior lighting is simulated with reference to the architect's specified light fittings.

During the rendering process the virtual cameras are adjusted to match the real world camera's exposure and shutter settings to ensure that the lighting as it appears in the final image is an accurate match for the lighting in the photograph.



4.2 Materials

Material samples, supplied by the architects, are simulated and applied to the wireframe of the building.

This process is partly an artistic exercise in creating a realistic impression, and the design team's assessment of our interpretations is vital in creating an image that everyone believes is a fair representation of the finished scheme.

Modern rendering software generates objective and accurate representations of specified materials. GMJ can only underwrite an image that, during this consultative and subjective stage of the process, does not make misleading deviations from an accurate impression.



4.3 Post Production

The completed render is opened in a post-production package (Adobe Photoshop) and further work is undertaken to create a finished image.

Foreground elements that should sit in front of the building are isolated and superimposed to set it visually into the scene, also atmospheric effects such as haze are added at this time.

This information is confidential and the processes described are the property of GMJ Design Ltd. Copyright. Do not copy or reproduce this information without prior permission of GMJ Design Ltd.