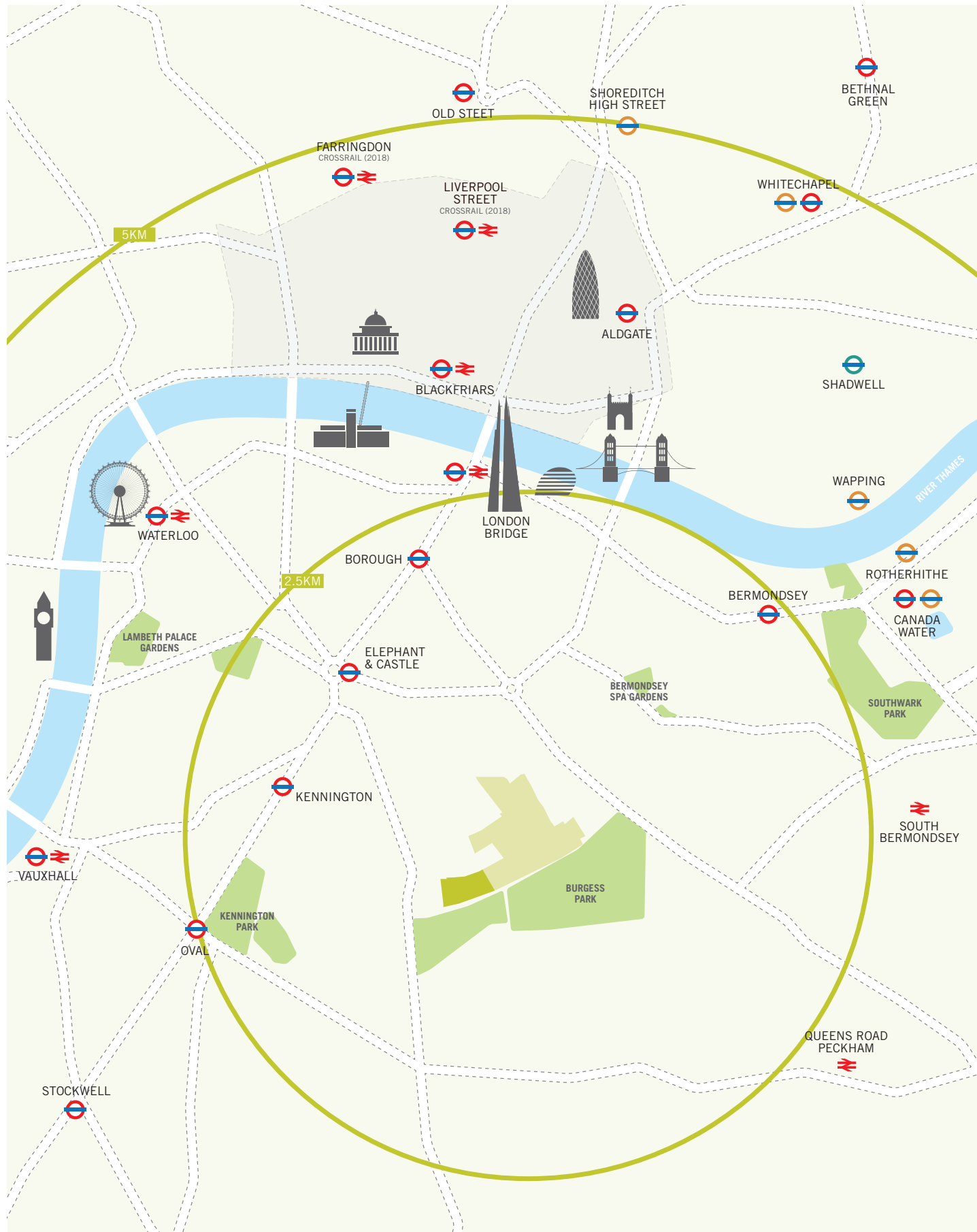


# First Development Site Application



## Design & Access Statement Addendum

HTA Design LLP, Hawkins\Brown, Mæ

v1



# AYLESBURY REGENERATION DESIGN AND ACCESS STATEMENT ADDENDUM

FIRST DEVELOPMENT SITE



BARRATT  
— LONDON —







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# **1.0**

# **INTRODUCTION**

## 1.1 PURPOSE OF THE DOCUMENT

This Design and Access Statement Addendum accompanies the application for Full Planning Permission, application number 14/AP/3843 for the redevelopment of the 4.4 Hectare site bounded by Albany Road, Bradenham Close, Westmoreland Road and Portland Street, and currently forming part of the Aylesbury Estate. The application area forms the First Development Site (FDS) within the wider regeneration of the Aylesbury Estate.

Further to the submission of the detailed application in October 2014, the scheme has evolved partly through an on going design process and also in response to comments received during the consultation process including responses from Southwark Planning, Design & Conservation, Highways and TfL. This document records this evolution describing the amendments that have been made to the scheme since submission and provides some further information in relation to the massing and townscape design.

The changes made across the First Development Site are relatively minor and the overall approach in terms of site layout, massing, height, architectural design, building layout, elevation detail, materiality, landscape and public open space remains as described in the Design and Access Statement that accompanies this application.



## 1.2 SUMMARY OF SCHEME AMENDMENTS

A summary of the key changes made to the scheme is set out below. For the most part, the amendments reflect minor adjustments to the amount of ancillary space within the scheme where plant space has been reduced. Where space has been freed up through more detailed plant space planning, this space has been reassigned to residential space. As a result there is an increase in the overall amount of accommodation.

In addition, the design team has worked closely to the has looked at improving the efficiency of certain blocks and this has resulted in some gains in terms of residential floor area.

The overall increase in accommodation provides 15 additional homes within the same massing as per the submitted planning application. This document records the changes on a plot by plot basis and these are broadly summarised below and indicated on Fig 1.1.

1. Reduction in plant / generator space within Block 1C to allow one additional unit to be introduced over ground and first floor level within Block 1C.
2. Design development of the fire escape strategy has resulted in the loss of one staircase within Block 1A. This area has been replanned to increase a 2B4P into a 3B 4P flat on four of the upper floors of Block 1C.
3. Minor adjustments to the rear elevation of the ground floor of the houses facing onto Westmoreland Park where the 'notched' extension has been replaced with a full width extension to ground floor level.
4. The ground floor of the Learning Disabilities building has been redesigned to accommodate one extra wheelchair unit at Southwark's request. The support service accommodation has been simplified and replanned with changes to the elevation to create a more prominent frontage onto the new park and to Westmoreland Road.

5. Minor changes have been made to Block 3B in response to Design and Conservation Comments. These are explained in detail in section 3.0. Minor amendments to the internal layouts have been made following detailed design development with the client team. The amount of glazing to the top floor has been increased to improve lighting levels and maximise views and minor refinements have been made to the elevations.

6. General amendments to internal layouts result in some changes to the window positions and to flat layouts across Block 4.

7. The area of basement below Building 4A has been reduced to accommodate a smaller plant room.

8. Removal of plant space in Block 4B that was surplus to requirement has enabled Hawkins Brown Architects to deliver an additional maisonette over ground and first floor level within this block.

9. Building 4E has been significantly replanned internally to provide more a more efficient layout whilst still maintaining dual aspect accommodation where possible. There is a gain of 5 units within the building through this replanning exercise.

10. General amendments have been made to dwelling plans across Block 5 following more detailed client discussions. These impact marginally on window locations across the elevations although the compositional approach and number of windows remains broadly the same.

11. The basement area has been removed below building 5A and plant has been more efficiently designed to be located at ground and first floor level. The core has been redesigned to provide a more efficient layout and better relationship with the foyer space.

12. The plan of Building 5C has been redesigned to improve the layout of the flats and to relocate the wheelchair unit closer to the lift core. 6 additional units are provided within this block.

13. The floor plan of Building 5E has been adjusted to improve the layouts of the larger family flats. This has had a minor impact on window positions. The part recessed balconies have been removed from the second to the seventh floor to improve the structural design. This has resulted in a minor improvement to the distribution of balconies across the facade.

14. General amendments have been made to dwelling plans across Block 6 following more detailed client discussions. These impact marginally on window locations across the elevations although the compositional approach and number of windows remains broadly the same.

15. The maisonettes at the base of Building 6A have been reconfigured to provide more activity along the southern elevation onto Albany Road.

16. The basement plant space below Building 6A has been removed following a more detailed consideration of plant requirements.

17. The plant space within Building 6D has been replanned and reduced overall. This has enabled an additional one bedroom flat to be included within this block at first floor level. There is no change to the front elevation through the introduction of this flat. The amenity space for this unit is located to the rear of the block overlooking the residential courtyard space.

18. Changes have been made to areas of elevation that were previously perceived as being too blank or lacking animation. This applies mostly to ground floor locations to the north of Block 1, the elevations facing onto the east west link between Block 1 and Block 6 and the small Mews that runs between Blocks 2 and 3.

19. Cycle parking has been updated in response to TFL's consultation response and electric vehicle charging points have been indicated.

20. Where required, refuse storage and cycle space has been increased to meet the need of the additional accommodation that is now proposed. The access to refuse stores has been improved with reduced drag distances between refuse stores and collection points.

21. Where required, loading bays have been incorporated into the streetscape to allow for deliveries to the residential accommodation.

22. The overall amount of on street parking has decreased to allow for loading bays, to improve bin store access and to create more crossing points for pedestrians. The parking within Block 4 has also reduced by 5 spaces.

These changes reflect ongoing work across the design team to ensure that the planning submitted scheme best delivers a viable mix of new homes within a scheme that will be robust in terms of detailed design, construction, housing mix and delivery.



**2.0**

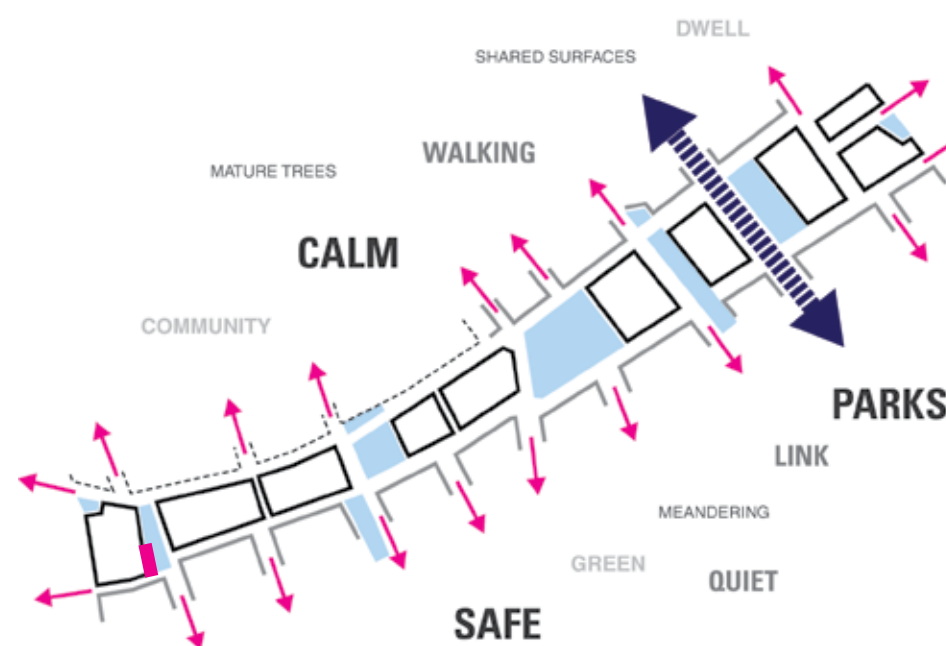
**EAST WEST ROUTE**

**PLACEMAKING STUDY**





**Fig 2.1 Location of East West Route within FDS.**



**Fig 2.2 Concept for Community Spine incorporating East West route as shown in Outline Application Design Code.**



**Fig 2.3 Sketch Massing Model showing the traditionally inspired three and four storey housing that forms the northern edge of the east west street.**



**Fig 2.4 Block 1D terminates the East West route at Westmoreland Park with a landmark building rising up to 10 storeys.**

## 2.1 THE EAST WEST ROUTE

In response to comments raised by Southwark Council in the Design & Conservation DC Consultation Response, this section of the DAS Addendum sets out the urban design principles that have led the design of the east west route. In addition, this section sets out a series of street sections that explain the change in massing across this part of the scheme and also presents a series of typical London street sections to show how the street will feel.

The east west street within the FDS has been designed to accord with the principles set out for the adjoining masterplan as this route delivers the first stretch of the community spine connection.

The street forms an important seam between the very high density development that lines the park edge along Albany Road and the lower density housing to the north that transitions into the neighbouring stock and the Liverpool Grove Conservation Area to the north. This results in a significant step change in massing across the site section allowing buildings to step from a low rise three and four storey up to six and eight storeys before making the leap up to eighteen and twenty storeys.

This stepping has also been designed to create an undulation in massing rather than a steep mono pitch slope to create a more visually interesting and cohesive response to the existing context. The massing also changes along the east west route creating a varied cross section along the route. These cross sections are set out in Figure 2.9. Along the lower rise north elevation of this street the parapet height is relatively consistent with small steps from three to four storeys along this elevation. The south elevation is more varied ranging from six to eight and up to ten storeys and stepping down to grade or to one storey allowing for gaps to be created within the building frontage.





**Fig 2.5 East West route proposed north elevation/ south side of street showing how taller elevation comprises a series of connected and stand alone mansion blocks.**



**Fig 2.6 South elevation/ north side of East West street showing how lower massing presents a more continuous frontage comprising terraced houses and smaller mansion blocks more reminiscent of the conservation area to the north of the site.**

2.2  
MASSING AND CROSS SECTIONS

The street is designed to reflect a typical London street that deals with significant changes of massing and building height and some comparable examples are shown in Figure 2.9 to show how these changes in massing, scale and building typology are the very thing that create a sense of space and location within the streetscape. These sections show similar proportions and similar relationships between massing and heights although the heights are not always identical to what is proposed within the east west route.

Different architectural responses are incorporated along the east west route to address the change in scale between the higher density blocks to the south and the lower rise housing and smaller mansion blocks to the north. Where the taller blocks step up above the shoulder height of the street, mansard roofs and set backs are incorporated to widen the street section at higher level and allow more light into the street. Two wider north south street connections link back to Albany Road punctuating the higher density development to the south. The southern elevation is further punctuated by the gaps between blocks on the two perimeter Blocks 4 and 5 where the massing steps to a single storey and on Block 6 where the single storey building housing cycle storage and the gas pressure reduction station is located.



Fig 2.7 FDS plan showing street sections along East West route.



Fig 2.8 Block 5C showing mansard roof to upper storeys to reduce apparent mass and height of elevation by creating a lower parapet shoulder height.

Fig 2.9 Cross sections along East West Street.

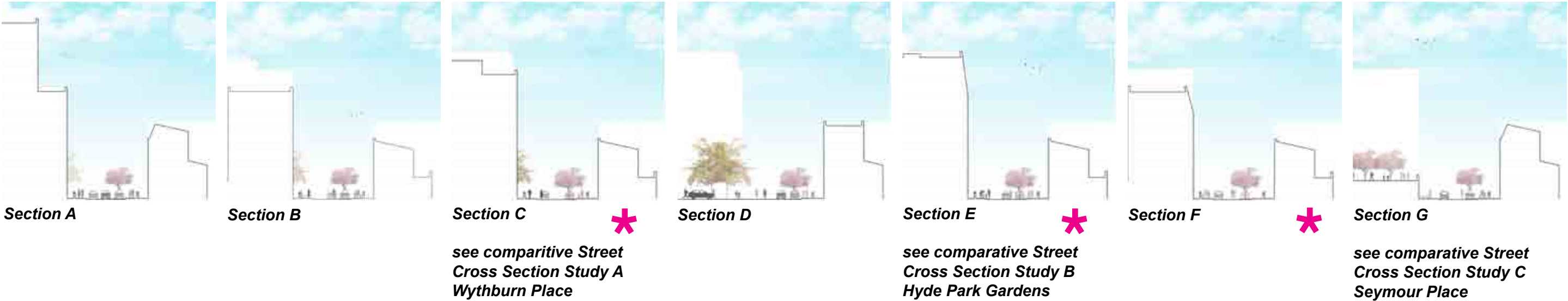






Fig 2.10 Section C



Fig 2.11 Section location Wythburn Place

## 2.3 STREET CROSS SECTION STUDY A WYTHBURN PLACE W1

This section (Fig 2.12 reflects the typical condition where the lower house type lies to the north of the end of the taller mansion block.

Wythburn Place is accessed off a small mews street. It shows a typical urban condition where building scales and styles have emerged over time. It is narrower in scale than the proposed width of the east west route but shows how a significant change in scales and in building typologies can work well in creating a useable streetscape and a place full of character.

The diagram below shows how the proportion of the east west route is wider and how the section is more generous than Wythburn Place, although proportionally, the relationship of scale from one side of the street to the other is similar. Of course, Wythburn Place extends this relationship along the entire length of the street whereas the east west route is broken along the southern edge by stepping in the building heights, variations in roof line, gaps between buildings and is punctuated by the north south routes that connect from Albany Road.

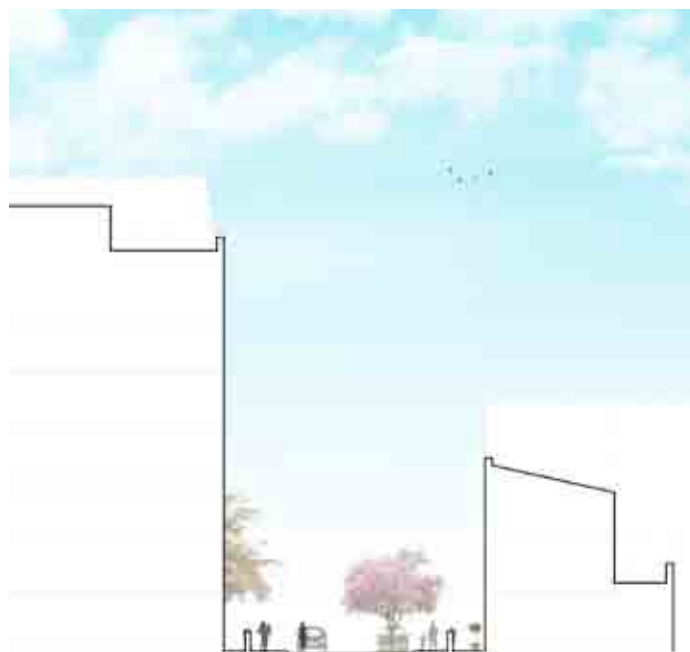


Fig 2.12 Cross Section C through East West Street



Fig 2.13 Cross Section through Wythburn Place



Fig 2.14 Wythburn Place looking west showing range of building heights from two to six storeys.

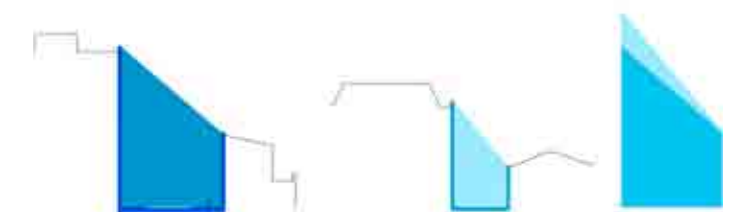


Fig 2.15 Diagram showing comparison of cross section and height to width ratio of East West route and Wythburn Place.





Fig 2.16 Section E



Fig 2.17 Section location Hyde Park Gardens

2.4  
STREET CROSS SECTION STUDY B  
HYDE PARK GARDENS W2

This section (Fig 2.18) reflects the condition where the lower house type lto the north of the lower mansion block where a two storey mansard roof arrangement is introduced to the north elevation. The mansard effectively reduces the perceived height of the wall component of the elevation by two storeys and lowering the parapet height to six storeys.

This is not an uncommon arrangement across London streets where set backs, mansard roofs or changes of material are used successfully to negotiate changes in elevation height across streets or along elevations. Historically, Georgian terraces used proportion and hierarchy to denote the main elements of a facade whilst still delivering accommodation to upper levels often hidden beyond parapets or within roof levels. Such an example can be found on Hyde Park Mews, W2, where there is a significant step between a five to six storey terrace and later two storey houses opposite.

Hyde Park Mews street section incorporates both parallel and perpendicular parking although affords little private amenity or defensible space in front of the two storey housing. The section is not dissimilar to the east west route, although the proposed street section is slightly narrower offering parallel parking only. Just as shown on the Hyde Park Gardens section, the massing steps back at upper level by introducing the mansard roof to the top storeys. The diagram below shows the similarity between the two cross sections and how these relate proportionally.

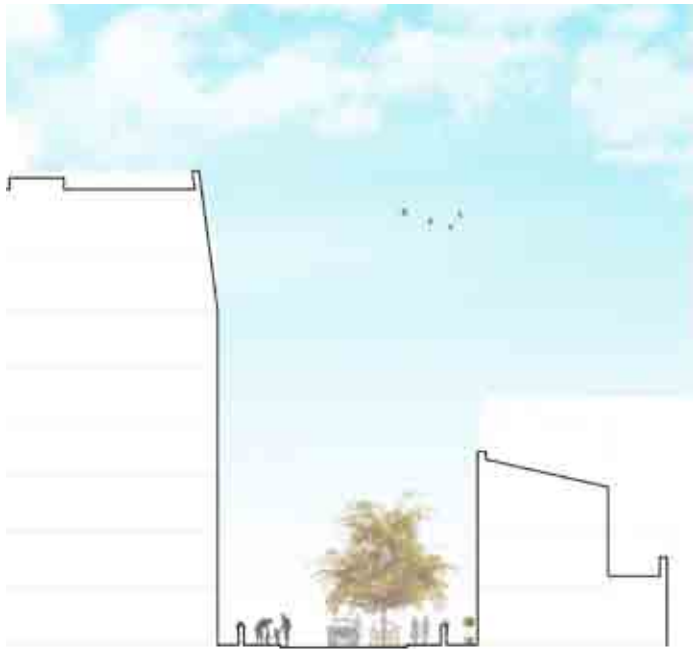


Fig 2.18 Cross Section E through East West Street

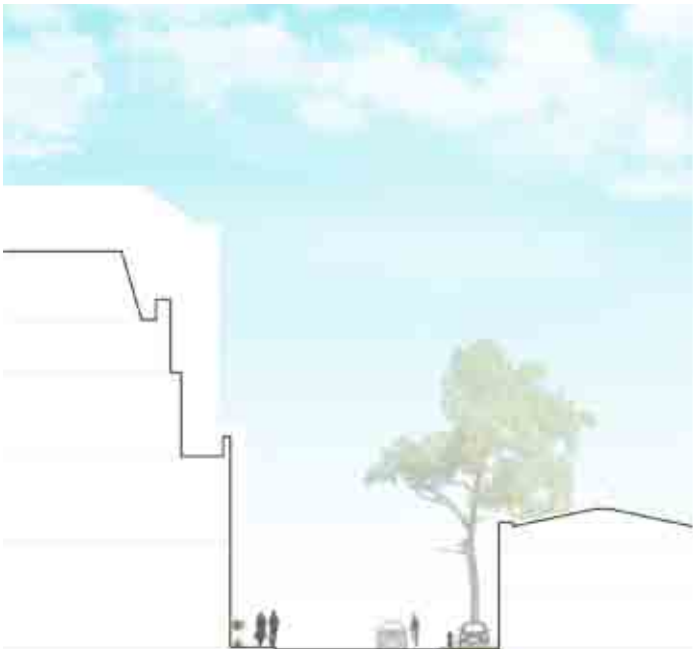


Fig 2.19 Cross Section through Hyde Park Gardens



Fig 2.20 Hyde Park Gardens looking west showing two storey housing to the north of the taller continuous terrace.

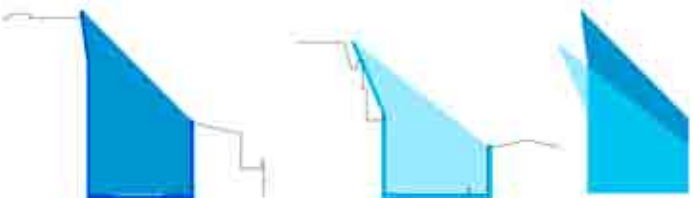


Fig 2.21 Diagram showing comparison of cross section and height to width ratio of East West route and Hyde Park Gardens.



2.5  
STREET CROSS SECTION STUDY C  
SEYMOUR PLACE W1

This section (Fig 2.24) reflects the typical condition where the lower house type lies opposite to the short wings that project from the mansion blocks. These wings rise up to six storeys in height. The section shows how the six storey height is articulated at upper storeys by introducing a mansard roof that starts to reduce the impact of the height on the streets. These short wings run parallel to the street whereas the taller elements shown in Figure 2.18 run perpendicular.

A similar scaled street can be found at Seymour Place where a three storey modernist terrace is located across the street from larger mansion blocks rising up to six storeys. The elegant street section is very similar to the proposed east west street, as is the relationship between townhouse to mansion block. The street is also very similar in its street tree planting and parallel parking.

The diagram below shows how similar the section is of the east west street and of Seymour Place. As with Seymour Place, the street section of the east west street is also enhanced by setting back the very top level of accommodation through introducing the mansard roof to the wing of the mansion block.



Fig 2.22 Section F



Fig 2.23 Section location Seymour Place



Fig 2.24 Cross Section F through East West Street



Fig 2.25 Cross Section through Seymour Place



Fig 2.26 Seymour Place looking north showing relationship of six storey mansion blocks to three storey terrace with parallel parking on one side of street.



Fig 2.27 Diagram showing comparison of cross section and height to width ratio of East West route and Seymour Place. Note that both street sections incorporate set backs at upper levels.



**3.0**

**BUILDING 3B**

**RELATIONSHIP TO**

**CONSERVATION AREA**





**Fig 3.1 Existing condition showing relationship of Aycliffe House to 14 storey Chiltern House.**



**Fig 3.2 Existing condition showing relationship of Aycliffe House to 14 storey Chiltern House.**



**Fig 3.3 2014 submissions showing how Building 3B starts to step up above Aycliffe House before the massing steps significantly on Block 4B to 20 storey on 4A.**

### 3.1 BUILDING 3B PORTLAND STREET

Building 3B comprises a small mansion block typology that is located adjacent to the neighbouring housing. This typology has been used across the neighbouring masterplan proposals and directly reflects the historic mansion block typology that can be found in the neighbouring conservation area.

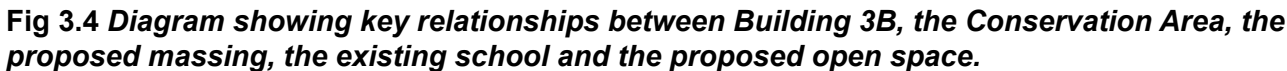
An historic example of this mansion block can be found to the north of the site at the junction of Portland Street and Westmoreland Road at the southern tip of the conservation area. Here two storey terraced cottages step up to a corner mansion block providing three floors of accommodation plus roof.

Building 3B mirrors this arrangement stepping up from the three to four storey houses that are proposed within the FDS that provide larger family homes than the small cottages along Portland Street. This Building replaces the 14 storey Chiltern House of the existing Aylesbury Estate. The proposed building is designed to provide a five storey brick elevation with a set back sixth storey across part of the block. It is designed to step up from the conservation area to the higher density accommodation to the southern part of the site where the massing rise to ten and then to twenty storeys.

Building 3B is also designed to respond to the open space that currently lies opposite Chiltern House that will form Farraday Square within the masterplan proposals. As such the building must respond to the conservation area and its lower massing, the proposed high density block to the south that provides the twenty storey tower, the school and the proposed civic, public open space of Farraday Square.

As it is a smaller mansion block that turns the corner, the overall mass of the building was broken down into two blocks, one that runs parallel to Portland Street and one that runs perpendicular, extending along the new east west street and facing onto Portland Park. A third element was introduced that formed the stair core and the top set back floor creating a dynamic element joining the two blocks.





In response to comments raised by Southwark Design and Conservation Officers, the massing of Building 3B has been adjusted to improve its relationship to the conservation area to the north. The top floor has been replanned to allow it to step back further from the northern edge of the building reinforcing the concept of this third element that unifies the two lower blocks. The overall height of the building has also been reduced marginally through reducing the height of the parapet and the top floor.

1. New civic styled frontage facing on to Portland Street, location of entrance.
2. New civic styled frontage facing on to Portland Park.
3. Continuing the stepping from the conservation area.
4. Stepping up at the corner of the street from the terraced housing, mirroring the house to mansion block relationship in the conservation area.
5. Stepping up in scale and massing from the conservation area Block 4B (10 storeys) and 4A (20 storeys).
6. Enclosing the new proposed civic space, Farraday Square (delivered in later phases of the Estate Regeneration), and setting a parapet height consistent with the proposed buildings around this space.
7. Responding to the school that forms an object building set in open space to the north of the FDS and Farraday Square.





**Fig 3.5 Portland Street Elevation - Revised Submission February 2015**



**Fig 3.6 View along Portland Street - Revised Massing February 2015 Submission**

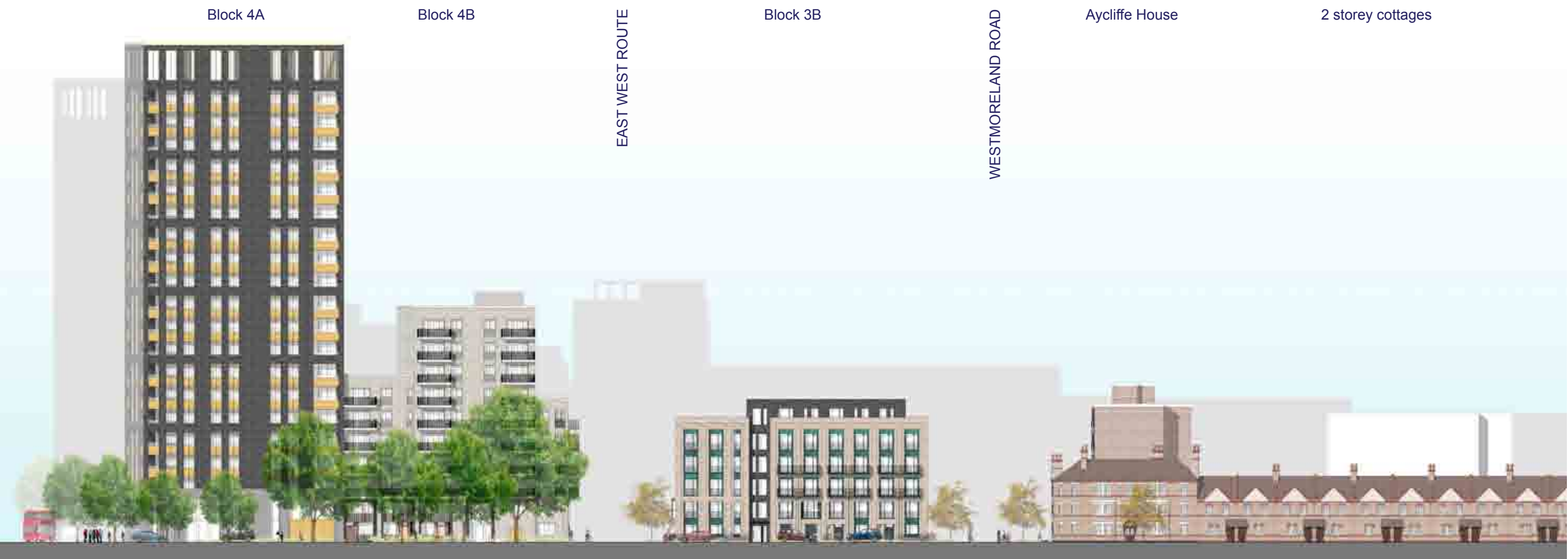


Fig 3.7 Portland Street elevation showing context to the north.

PORTLAND STREET

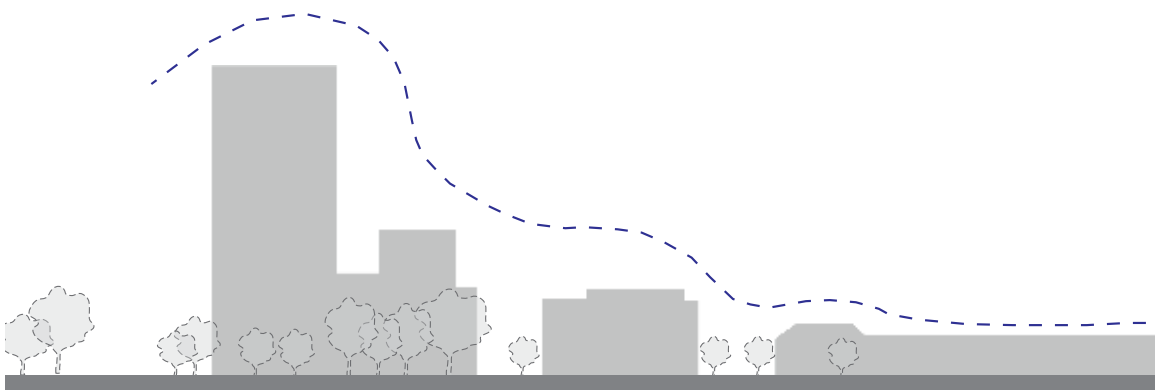


Fig 3.8 Schematic elevation of Portland Street showing how massing rises incrementally from 2 storey cottages up towards the 20 storey tower.



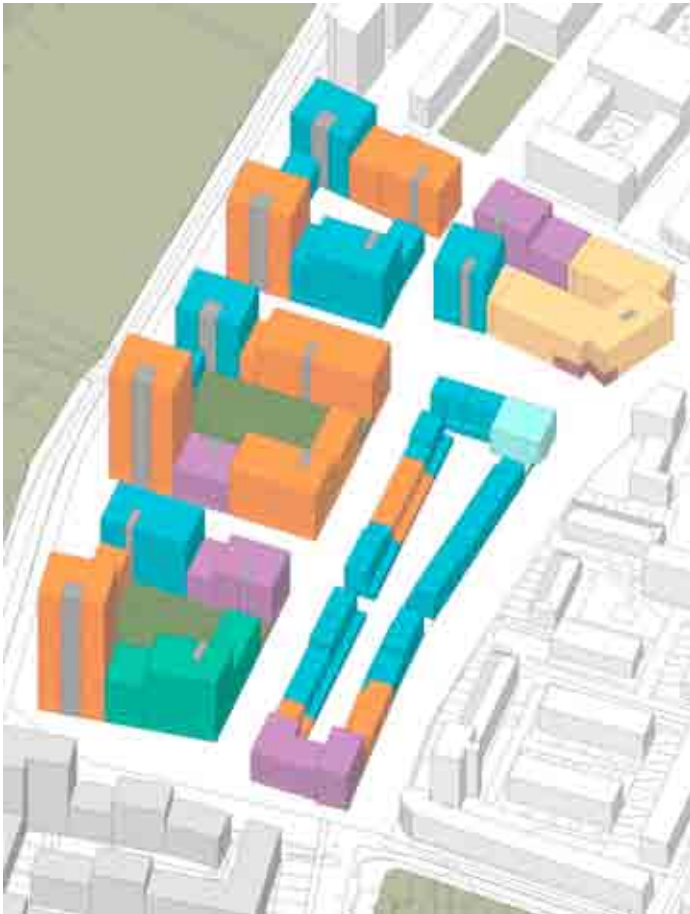
**4.0**

# **SCHEME REVISIONS**



4.0  
SCHEME REVISIONS

This section describes in detail the changes to the application clearly showing where minor changes have been made to the facades and internal layouts through minor adjustments to the blocks. These amendments have allowed the design team to deliver an uplift of accommodation within the same massing envelope as previously submitted.



**Fig 4.1 Massing model showing tenure allocation across the FDS - the distribution of tenure remains unchanged from the October submission.**

4.1  
QUANTUM OF ACCOMMODATION

Through replanning limited areas of plant space and through a general review of the plan efficiencies, the overall number of homes proposed has increased from 815 to 830 dwellings.

Details of the revised mix of home types and tenures are provided here. The increase in homes has been applied across different blocks and across different tenures. Hence the overall mix and tenure split does not greatly vary from what was submitted in October 2014.

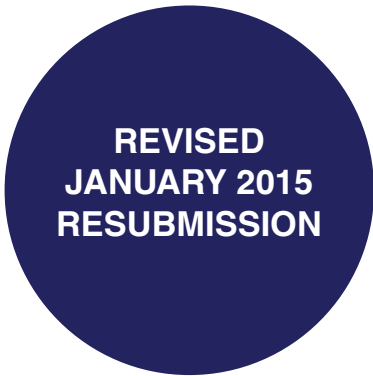
The changes to the internal layouts on a building by building basis are as follows:

**Block 1D**  
One additional 3 Bed 5 Person Flat has been incorporated into at first floor level where a surplus generator space has been removed.

The removal of the third accommodation/escape stair within Block 1D has also allowed for 4 number of X bed flats to become 3 bed 4 person flats through gaining another habitable room.

**Block 2A**  
An additional 1Bedroom flat has been included within the ground floor of the Learning Disabilities building at the request of Southwark planners.

**Block 4.**  
An additional 2 bed maisonette has been provided at ground floor level within Building 4B to replace a surplus generator space. This has improved the elevation onto Portland Street providing more active frontage. The two neighbouring maisonettes have been replanned to provide 2 bedroom maisonettes in lieu of 3 bedroom dwellings.



SUBMITTED DWELLING MIX OCTOBER 2014			REVISED DWELLING MIX JANUARY 2015		
Flats			Flats		
	1B	314		1B	324
	2B	258		2B	261
	3B	43		3B	48
	4B	0		4B	0
Maisonette / Duplex			Maisonette / Duplex		
	2B	36		2B	35
	3B	61		3B	60
	4B	6		4B	5
Houses			Houses		
	4B	27		4B	27
	5B	20		5B	20
Total		765	Total		780
Exclusive of Extra Care			Exclusive of Extra Care		

**Fig 4.2 Summary of drawings within 2014 mix and revised drawing mix in 2015 revisions.**





**Fig 4.3 FDS General Layout showing key amendments and where additional accommodation has been provided**



- 6 x 1B flats  
2 x 2B flats  
4 x 2B Maisonettes  
2 x 3B Maisonettes

The revised mix delivers:

- 9 x 1B flats  
8 x 2B4P Flats  
2 x 3B5P Maisonettes on Albany Road

## Block 5

Six additional one bedroom flats have been included within Building 5B.

## Block 6

Through reducing the plant area within Block 6D, a four bedroom shared ownership maisonette has been reconfigured to provide a three bedroom maisonette and a one bedroom flat at first floor level.

The overall increase in units amounts to 15 additional homes across the FDS and an increase in habitable rooms from 2,662 to 2,771, increasing the housing re-provision across the FDS.

**Fig 4.4 Schedule of Accommodation, FDS Planning Application October 2014.**

Target Rent				34.1%				FLATS								MAISONNETTE & DUPLEX					HOUSES								
				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)	TOTAL	GIA SQM	GIA SQFT	NIA SQM	NIA SQFT							
				93	43	21	2	34	0	0	8	0	22	3	0	17	18	261	32676.3	333362	25016.85	273897							
PERCENTAGE SPLIT (UNITS)				35.6%		24.5%		13.8%		0.0%	3.1%		8.4%		1.1%		13.4%	100%											
FAMILY UNITS %															9.6%		36.8%												
HAB ROOMS				186	129	84	10	170	0	0	32	0	110	18	0	102	126	967											
										25% 66					25% 66	49% 129													
S/O				12.0%				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT			
				30	24	15	0	0	0	0	6	0	14	3	0	6	0	0	0	0	0	2	92	8557	196339	6169.9	66412		
PERCENTAGE SPLIT (UNITS)				32.6%		42.4%		0.0%		0.0%	6.5%		15.2%		3.3%		0.0%		0.0%	100%									
FAMILY UNITS %															18.5%		0.0%		18.5%										
HAB ROOMS				60	72	60	0	0	0	0	24	0	70	18	0	0	0	0	0	0	0	304							
																		25% 23											
PRIVATE				53.9%				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT			
				191	39	116	0	7	0	0	22	0	25	0	0	10	2			10	2	412	40206.9	432783	28898.9	311065			
PERCENTAGE SPLIT (UNITS)				46.4%		37.6%		1.7%		0.0%	5.3%		6.1%		0.0%			0.0%		2.9%	100%								
FAMILY UNITS %									1.7%					6.1%			2.9%		10.7%										
HAB ROOMS				382	117	464	0	35	0	0	88	0	125	0	0	60	14	1285											
																	14% 59												
Total Of Unit Type Excl. EC				314	106	152	2	41	0	0	36	0	61	6	0	27	20	765	81440.2	962484	60085.65	651374							
									43						67		47												
FAMILY UNITS %									5.6%					8.6%		6.1%	21%												
HAB ROOMS				628	318	608	10	205	0	0	144	0	305	36	0	162	140	2556											
EXTRA CARE				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT							
EXTRA CARE RENT				40	0	0	0	0	0	0	0	0	0	0	0	0	0	0	40	6669.6	71791	2976.9	32043						
EXTRA CARE SHARED OWNERSHIP				7	3													10											
HAB ROOMS RENT				80	0	0	0	0	0	0	0	0	0	0	0	0	0	80											
HAB ROOMS SO				14	9	0	0	0	0	0	0	0	0	0	0	0	0	23											
TOTAL INCLUSIVE OF EXTRA CARE																													
UNIT NUMBERS				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT							
PERCENTAGE SPLIT (UNITS)				361	109	152	2	41	0	0	36	0	61	6	0	27	20	815	88109.8	1034275	63062.55	683417							
FAMILY UNITS %				44.3%		32.0%		5.3%		0.0%	4.4%		7.5%		0.7%		5.8%	100.0%											
HAB ROOMS				722	327	608	10	205	0	0	144	0	305	36	0	162	140	2659											
TOTALS				1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B7P (H)	4B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT							
TOTAL NO UNITS				815	361	109	152	2	41	0	0	36	0	61	6	0	27	20	815	83804.8	902067	60426.55	825927						
				Total No Flats						665	Total No Maisonnets						103	Total No Houses		47									
DENSITY				4.4 HA						604 HRH	BUSINESS PLAN TARGET						659	111						50					
DENSITY				4.4 HA						185 DPH																			



PERCENTAGE SPLIT (UNITS)		FLATS								MAISONETTE & DUPLEX						HOUSES		TOTAL	GIA SQM	GIA SQFT	NIA SQM	NIA SQFT
Target Rent	33.8%	1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)							
		95	35	2	23	6	35	0	0	8	0	22	3	0	17	18	264	32513.6	331610	25717.2	282205	
		36.0%			22.0%		15.5%		0.0%	3.0%		8.3%		1.1%		13.3%	99%					
								15.5%						9.5%		13.3%	38.3%					
		190	105	8	92	30	175	0	0	32	0	110	18	0	102	126	988					
								26%						26%		49%						
								67.5						67.5		129						
S/O	11.8%	1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)							
		30	24	0	15	0	0	0	6	0	15	2	0	0	0	92	8430.2	194803	6251.9	67295		
		32.6%			42.4%		0.0%		6.5%		16.3%		2.2%		0.0%	100%						
								0.0%					18.5%		0.0%	18.5%						
		60	72	0	60	0	0	0	24	0	75	12	0	0	0	303						
																25%						
																23						
PRIVATE	54.4%	1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)							
		199	27	13	122	0	7	0	21	0	23	0	0	10	2	424	39244.9	422429	29581.1	318408		
		46.9%			35.1%		1.7%		5.0%		5.4%		0.0%		2.8%	97%						
								1.7%					5.4%		2.8%	9.9%						
		398	81	52	488	0	35	0	84	0	115	0	0	60	14	1327						
																13%						
																56						
Total Of Unit Type Excl. EC		324	86	15	160	6	42	0	35	0	60	5	0	27	20	780	80188.7	948842	61550.2	667908		
								48					65		47							
								6.2%					8.3%		6.0%	21%						
		648	258	60	640	30	210	0	140	0	300	30	0	162	140	2618						

EXTRA CARE		1B	2B3P	2B3P+	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT
	EXTRA CARE RENT	40	0	0	0	0	0	0	0	0	0	0	0	0	0	0	40	5239.6	56399	2976.9	32043
	EXTRA CARE SHARED OWNERSHIP	7	3	0													10				
	HAB ROOMS RENT	80	0	0	0	0	0	0	0	0	0	0	0	0	0	0	80				
	HAB ROOMS SO	14	9	0	0	0	0	0	0	0	0	0	0	0	0	0	23				

TOTAL INCLUSIVE OF EXTRA CARE		1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT
	UNIT NUMBERS	371	89	15	160	6	42	0	35	0	60	5	0	27	20	830	85428.3	1005241	64527.1	699951
	PERCENTAGE SPLIT (UNITS)	44.7%			30.0%		5.8%		4.2%		7.2%		0.6%		5.7%	98.2%				
	FAMILY UNITS %							5.8%					7.8%		5.7%	19.3%				
	HAB ROOMS	742	267	60	640	30	210	0	140	0	300	30	0	162	140	2721				

TOTALS		1B	2B3P	2B4P	3B4P	3B5P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M)	4B6P (M)	4B7P (M)	4B7P (H)	4B7P (H)		GIA SQM	GIA SQFT	NIA SQM	NIA SQFT																													
TOTAL NO UNITS	830	271	104	160	6	42	0	0	35	0	60	5	0	27	20	830																																	
DENSITY	4.4 HA	Total No Flats															883	Total No Maisonettes															100	Total No Houses															47
DENSITY	6.6 HA	BUSINESS PLAN TARGET															550																111																150

Fig 4.5 Revised Schedule of Accommodation, February 2015.

## 4.2 BLOCK 1 MAE ARCHITECTS



**Fig 4.6 Westmoreland Road Elevation**  
**Showing north elevation of Block 1, 2A and 2B**  
**Revised Planning Submission February 2015**

Amendments made to Block 1 reflect changes that have been made in response to a more detailed review of plant and circulation requirements and in response to comments made by Southwark design and conservation officers.

The changes made through more detailed design of plant space have allowed for an extra home to be delivered at first floor level within Building 1D. Removal of one of the three accommodation stairs within the Extra Care building has also allowed for upper level units to provide more accommodation within building 1D and this is reflected in the plans and schedule of accommodation.

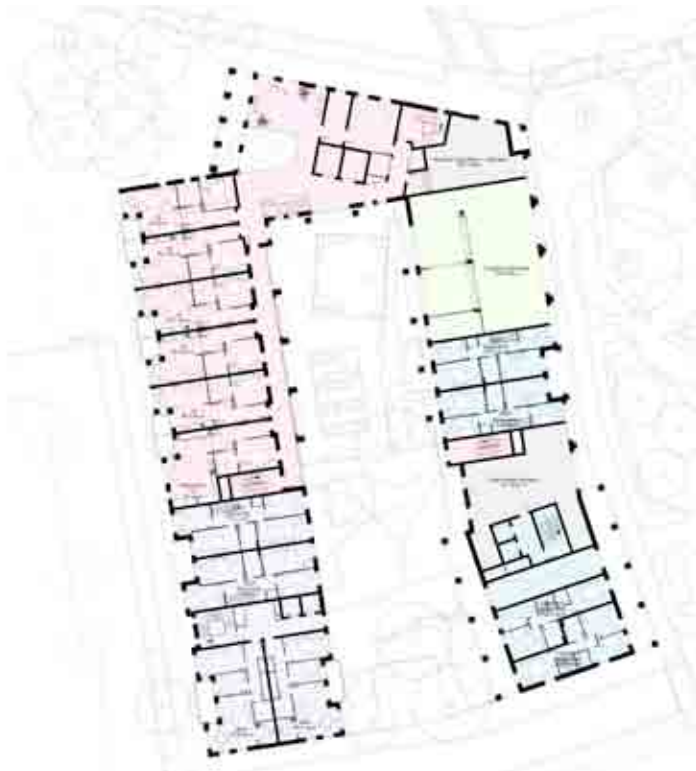
In addition to these changes, the design team has carried out further development of the facade particularly picking up comments made in relation to the north elevation facing onto Westmoreland Park. These amendments have sought to improve the animation and visual interest across the north elevation and pick up changes made to Building 2D that also faces onto Westmoreland Road and are described in Section 4.3.

1. Community centre entrance opened up with a section of double height space and more generous glazing wrapping the corner onto Westmoreland Park.
2. Generator space removed from ground and first floor level enabling additional 3B5P flat.
3. Further fire engineering and change from an internal corridor to deck access within the extra care has allowed the four x 2B3P flats to be increased in size to 3B4P flats.





**Fig 4.7 Block 1 Ground and First Floor  
Planning Submission 2014**



**Fig 4.8 Block 1 Ground and First Floor  
Revised Planning Submission 2015**



**Fig 4.9 Block 1 Second & Third Floor  
Planning Submission 2014**



**Fig 4.10 Block 1 Second and Third Floor  
Revised Planning Submission 2015**

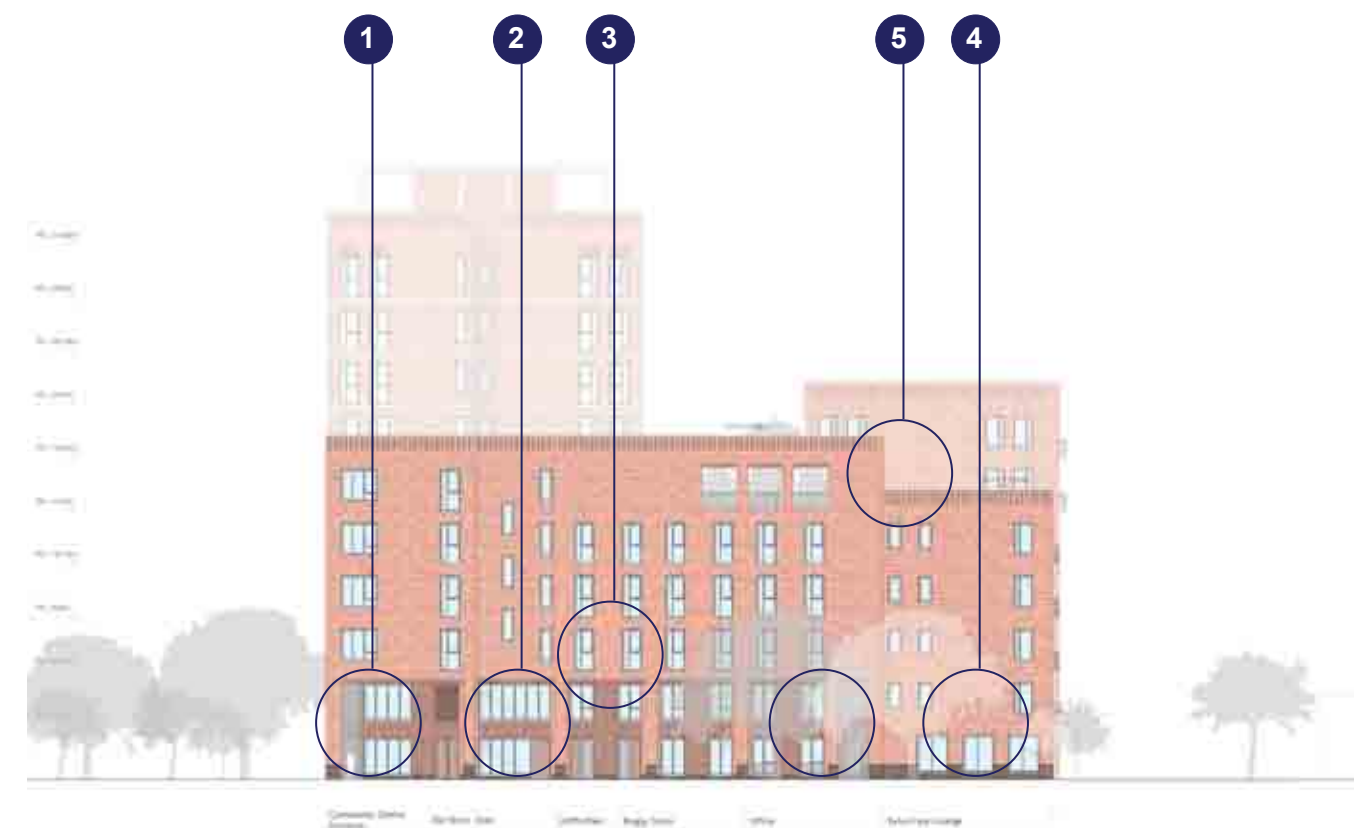




**Fig 4.11 Westmoreland Road Elevation**  
**Showing north elevation of Block 1**  
**Planning Submission 2014**

A double order has been introduced in the form of recessed bays and the elevation is further animated by the introduction of a saw tooth brick pattern at ground and first (see drawing 130A). Solid doors have been substituted with more glazed openings where possible and patterned/perforated metal screens introduced where refuse and plant rooms are located.

1. The community centre entrance has been opened up with a section of double height space and more generous glazing wrapping the corner into Westmorland Park. Lighting and signage would be



**Fig 4.12 Westmoreland Road Elevation**  
**Showing north elevation of Block 1**  
**Revised Planning Submission February 2015**

developed and incorporated to animate this public facing corner.

The metal louvres serving the first floor plant area have been substituted with hit and miss openings within the saw tooth brickwork.

2. The stairwell brickwork has been recessed and more glazing introduced at ground and first floor. Staggered windows reflect a similar pattern of those on the shared ownership block staircase (drawing 123A).

3. The brick soldier course lintel of the double height entrance colonnades of the extra care and community centre entrances have been carried along the double height bays on this elevation.

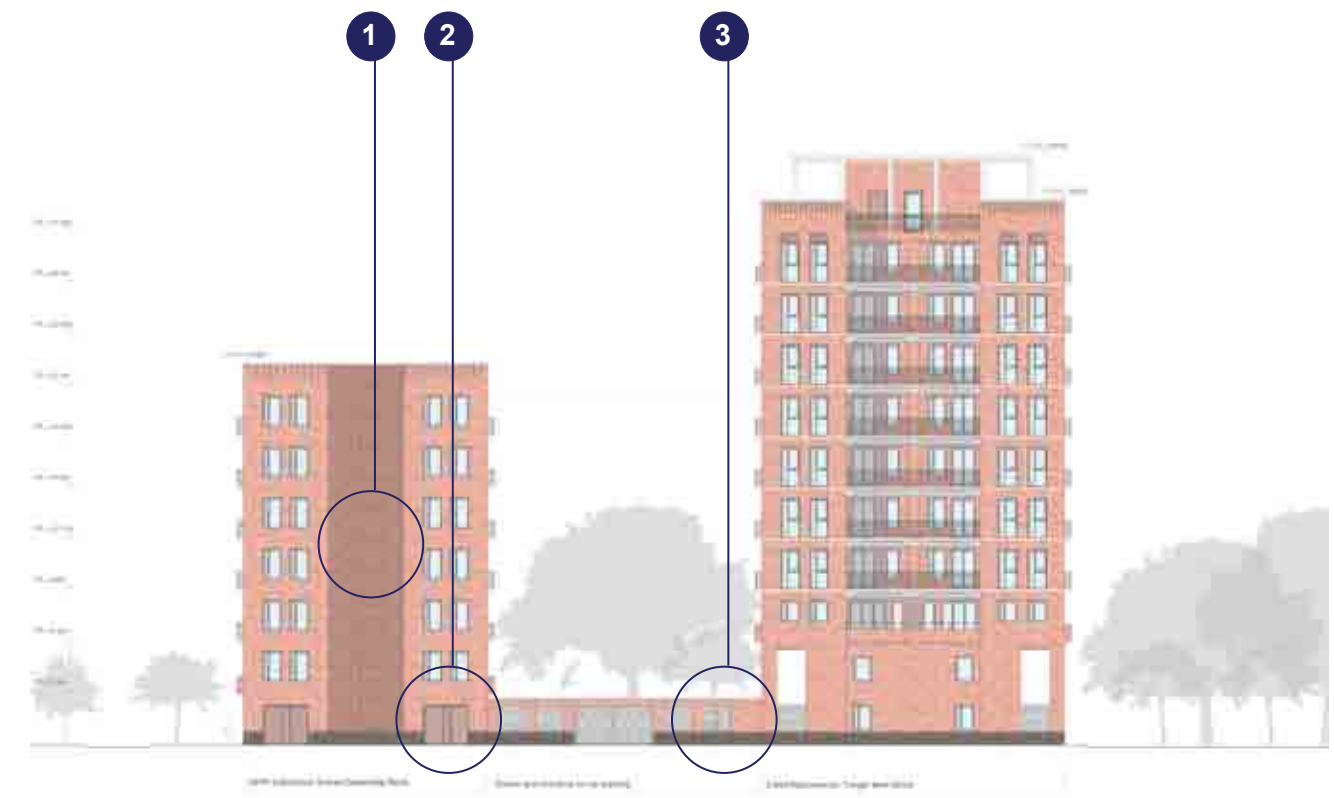
4. Larger windows above the extra care lounge flank wall have been introduced. These afford generous views north and east across Westmorland Square.

5. The brickwork cornice detail is now extended the full length of the parapet with a re-constituted stone parapet capping as previously indicated.

## BLOCK 1 SOUTH ELEVATION



**Fig 4.13 Block 1 South Elevation**  
**Planning Submission 2014**



**Fig 4.14 Block 1 South Elevation**  
**Revised Planning Submission February 2015**

1. The south elevation has been updated to incorporate a panel of saw tooth brickwork similar to the north and east elevations and provide visual interest and texture in lieu of a large area of blank brickwork. This allows vertical movement joints to be concealed on the internal corners.
2. Openings to the UKPN substation have been consolidated to 2 openings and not 4 with perforated/patterned metalwork doors to match other, non-residential doors at ground floors.
3. A dark skirt of brickwork at ground floor and a brick and decorative metal-gated wall to the garden unite the two blocks.

BLOCK 1 WEST ELEVATION



**Fig 4.15 Block 1 Westmoreland Park Elevation**  
*Planning Submission February 2014*



**Fig 4.16 Block 1 Westmoreland Park Elevation**  
*Revised Planning Submission February 2015*

1. Square format windows in the lounge areas have been replaced with fenestration of a more vertical emphasis. The brickwork cornice detail now runs fully around the parapet.
2. As on the other elevations, patterned/perforate metal doors (detail to be developed) to the extra care and residential core bin stores have been introduced.



BLOCK 1 WEST INTERNAL ELEVATION



**Fig 4.17 Block 1 Courtyard Elevation**  
**Planning Submission 2014**



**Fig 4.18 Block 1 Courtyard Elevation**  
**Revised Planning Submission February 2015**

1. The elevation has been updated to reflect the new 3B5P dwelling at first floor level. Bed-room windows replace plant room grilles with the glazing pattern carried down from above. Textured saw tooth bickwork has been introduced in within the ground and first floor bays to match the external elevational treatment.



1. Recessed corner creates visible and secure entrance.
2. Decorative screen wall provides light and limited visual connection whilst maintaining privacy.
3. Side office window provides overlooking to entrance.
4. Large window to meeting room animates corner to Westmoreland Park and allows views to the park.
5. Decorative grilles animate elevation and allow for ventilation to rooms beyond whilst maintaining privacy.

### 4.3 BLOCK 2A HTA

The changes made to the ground floor positively create a less residential frontage around the junction of Westmoreland Park and Westmoreland Road when seen from Westmoreland Square. This adds a richness to the ground floor and to the streetscape and picks up on the idea of this block replicating the idea of the special building at the corner of the residential terrace.

Support/office space and the meeting room have been located along the northern edge of the block maintaining their proximity to the entrance and allowing these uses to express a more public aspect. We have also taken the opportunity to celebrate the ground floor with a more comprehensive and elegant approach to the recessed entrance, the glazing to the ground floor and the garden wall so that this appears as one piece that wraps across the north elevation and turns the corner onto the Westmoreland Park elevation. This also clearly defines the residential units above and the new ground floor unit whilst the support/office spaces and shared entrance are given a more urban street edge appearance.

The recessed entrance has been more clearly defined by providing more glazing to the entrance within the ground floor cladding. It still benefits from being recessed, which gives it a sense of enclosure and protection. The garden wall is treated externally with a similar cladding material to create the one screen element that wraps around the ground floor and that this can provide an opportunity to introduce some perforation to allow light into the garden and make this space a little less enclosed without it feeling exposed.



Fig 4.19 View of Building 2A showing revised treatment to ground floor.





**Fig 4.20 View towards Building 2A showing revised ground floor treatment.**



**Fig 4.21 View of north elevation of Building 2A showing revised ground floor treatment to provide a more civic character reflecting the non-residential uses at ground floor.**

The cladding to the garden wall and ground floor panels uses the same perforated pattern that is proposed on the balustrade screens and this has also been used in the elevation of the office space to provide screening over openable glazed sections so that the office can get ventilation without the need to open up large windows. This will avoid any security issues for the ground floor uses and allows us to keep the larger fixed window that forms the strong anchor accentuating the corner of the building.

The solid areas to the upper levels of the facade have been adjusted to introduce simple strip windows that provide light to bathrooms on the north elevation and to the stair case on the rear elevation.

The low wall to the front of the building has been removed to reflect the non residential use at ground floor. We have looked at extending the footway back to the building line to create a very urban edge but this space appeared to be over generous, therefore we have introduced some low level planting in front of the office space as the facade wraps the corner, which provides some defensible space in front of the meeting room and office space to the benefit of users and to people in the street.

The changes made to the ground floor positively create a less residential frontage around the junction of Westmoreland Park and Westmoreland Road when seen from Westmoreland Square. This adds a richness to the ground floor and to the streetscape and picks up on the idea of this block replicating the idea of the special building at the corner of the residential terrace.

Support/office space and the meeting room have been located along the northern edge of the block maintaining their proximity to the entrance and allowing these uses to express a more public aspect. We have also taken the opportunity to celebrate the ground floor with a more comprehensive and elegant approach to the recessed entrance, the glazing to the ground floor and the garden wall so that this appears as one piece that wraps across the north elevation and turns the corner onto the Westmoreland Park elevation. This also clearly defines the residential units above and the new ground floor unit whilst the support/office spaces and shared entrance are given a more urban street edge appearance.

The recessed entrance has been more clearly defined by providing more glazing to the entrance within the ground floor cladding. It still benefits from being recessed, which gives it a sense of enclosure and protection. The garden wall is treated externally with a similar cladding material to create the one screen element that wraps around the ground floor and that this can provide an opportunity to introduce some perforation to allow light into the garden and make this space a little less enclosed without it feeling exposed.

**4.4****BLOCK 2 & 3 PHELP MEWS  
HTA**

The Design Team has looked again at Phelp Mews in response to comments from Southwark Planners that raised concerns about the level of overlooking on this short stretch of space. Detailed discussions about how this mews connection will be used have been held with Southwark Highways.

The team has looked at ways of improving the elevation treatment to the mews to improve overlooking, natural surveillance and the experience of passing through the mews as a pedestrian or as a resident. There are four houses that lie on the mews with two of these having front doors directly addressed from the space.

The design team has looked at how these special mews houses can be treated in a way that sets them apart from the main terraced housing whilst still being part of the wider terraced house type. The revised elevation shows how glazed brick has been introduced to ground floor, wrapping around the corner of the house and leading into the mews and towards the front door. This glazed brick works at a domestic scale, signalling the location of the front door and highlighting the kitchen windows that overlook the mews and also at an urban level, as the glazed brick wraps around leading pedestrians through the mews space.

How visual interest is delivered within the space has also been an important objective and the team has explored opportunities for decorative brick and metal work along the garden walls picking up on similar patterns and motifs used across the other phases of the FDS.



**Fig 4.22 West elevation of Block 3 and 4 showing Phelp Mews elevation, Planning Submission 2014.**



**Fig 4.23 Block 3 west elevation (Phelp Mews), Planning Submission October 2014.**



**Fig 4.24 Block 2 east elevation (Phelp Mews), Planning Submission October 2014.**







Fig 4.25 West elevation of Block 3 and 4 showing revised treatment to Phelp Mews.

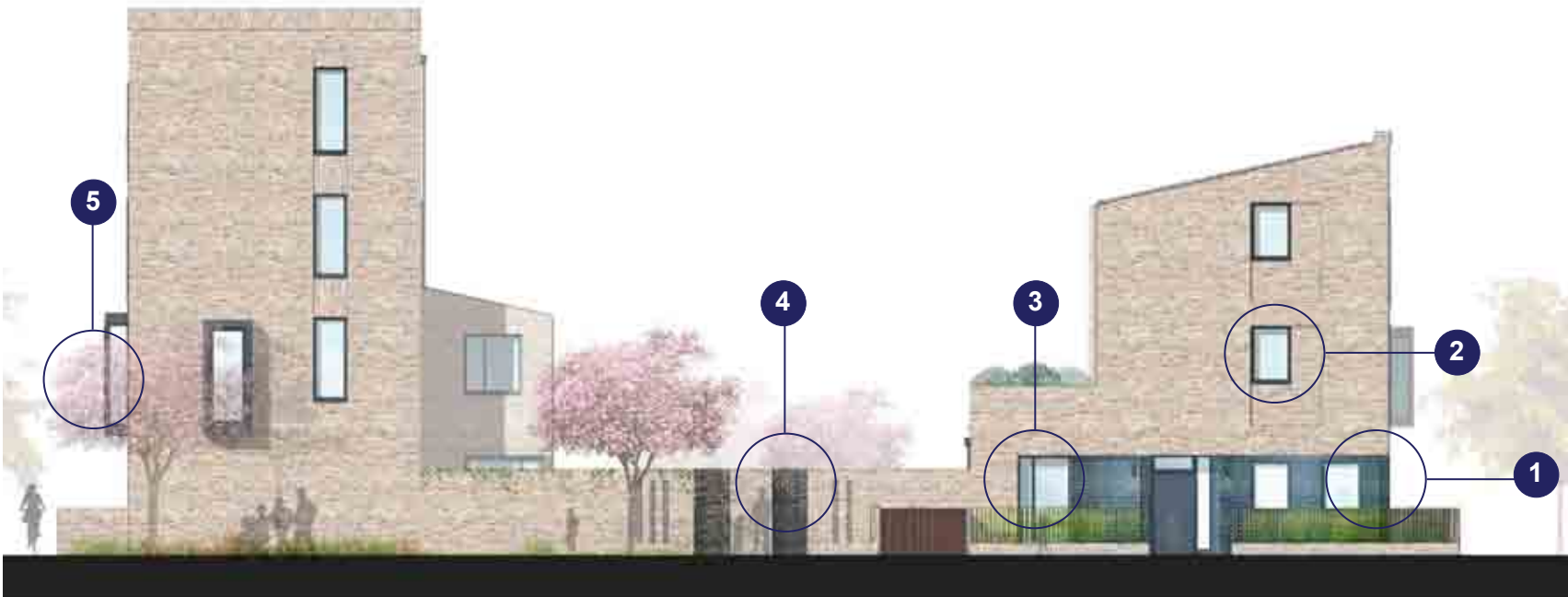
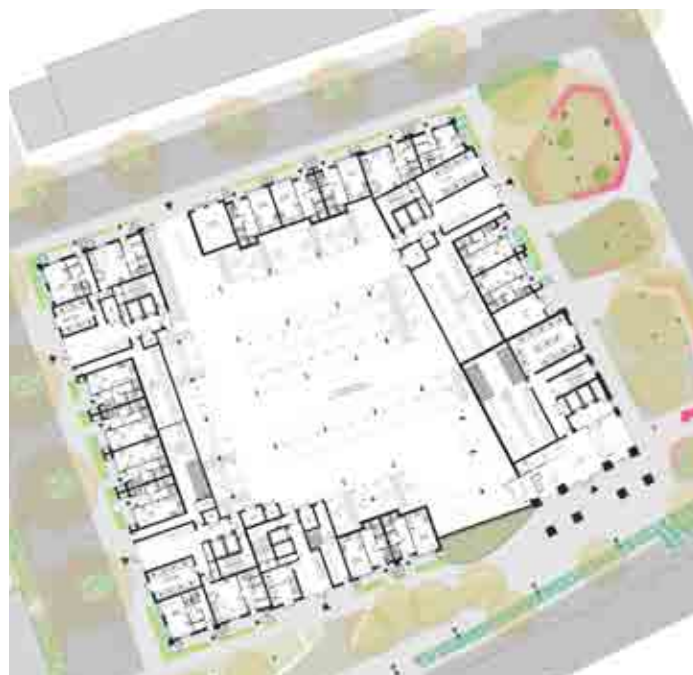


Fig 4.26 West elevation of Block 3 revised submission February 2015.

1. Glazed brick wraps around to accentuate corner.
2. Additional fenestration to increase natural surveillance over Mews.
3. Larger window allowing living room to overlook Mews.
4. Decorative motif applied to garden gates and garden wall.
5. Increased glazing to bay window overlooking entrance to Mews.



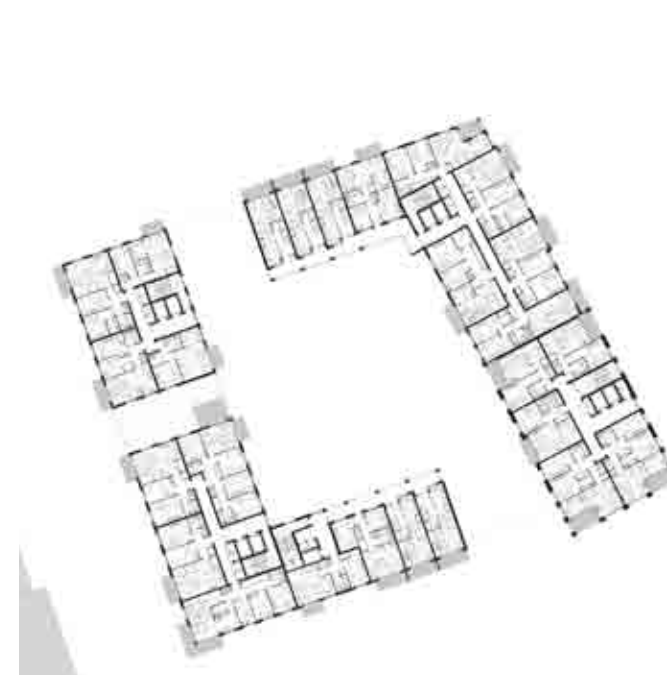
Fig 4.27 View to Phelp Mews showing how glazed brick wraps treatment wraps around the corner leading to the front door of the corner house.



**Fig 4.28 Ground Floor, Planning Submission 2014**



**First Floor, Planning Submission 2014**



**Typical Floor, Planning Submission 2014**

## 4.5 BLOCK 4

Changes to Block 4 are primarily made in response to the removal of plant areas at ground and first floor where a surplus of plant had been allowed for. These areas have been put to better use providing more residential accommodation and reducing areas of blank frontage to plant.

Changes to this block include:

- Amendments to base of tower to provide additional space for cycle parking and replanning of the refuse and recycling store and associated access.
- Minor amendments to the full height glazing proposed on the tower to raise the cill height and reduce the risk of overheating to south facing dwellings.
- Replanning the lower floors of Building 4B to allow for an additional maisonette.
- Replanning Building 4E facing onto Albany Road to improve the mix and offer additional dwellings.

These changes are outlined within this section in more detail with accompanying plans and elevations to highlight where these minimal changes have been made.







**Fig 4.29 Block 4 Ground, First and Fourth Floor Plan Revised Planning Submission 2015.**

1. Plot 4C core narrowed and rationalised to allow more generosity in 4 x 3B6P maisonettes between 4C and 4D.
2. Plot 4D core narrowed and rationalised to allow more generosity in 4 x 3B6P maisonettes between 4C and 4D.
3. Plot 4E completely re-planned to increase core and circulation efficiency.
4. Additional maisonette to ground and first floor replaces existing generator space between 4A and 4B. The 3 maisonettes have been changed from 3B5P in the original planning submission to more generous 2B4P homes.
5. Plot 4E completely re-planned to increase core and circulation efficiency.
6. Additional maisonette to ground and first floor replaces existing generator space between 4A and 4B. The 3 maisonettes have been changed from 3B5P in the original planning submission to more generous 2B4P homes.
7. Plot 4E completely re-planned to increase core and circulation efficiency. Upper levels now 2 x 1B2P south facing and 2 x 2B4P south facing dual aspect homes.
8. Re-designed Plot 4B core access.

BLOCK 4 BUILDING 4E

- 1. Window locations adjusted for structure
- 2. Duplex apartments replaced with lateral flats - elevations updated to reflect internal layouts. More vertical stacking introduced to fenestration. Entrance relocated to east.
- 3. New planting added to external vents into podium car park
- 4. Revised elevation to Building 4A. Reduction in south facing glazing area to achieve less overheating in south-facing apartments
- 5. Entrance relocated to near centre of Building 4E
- 6. Revised rear elevation to Plot 4E. Facade and layout was simplified by removing the deck access and duplex apartments. Depth and texture is created through the use of recessed patterned brick panels



Fig 4.30 Block 4 South Elevation Planning Submission October 2014

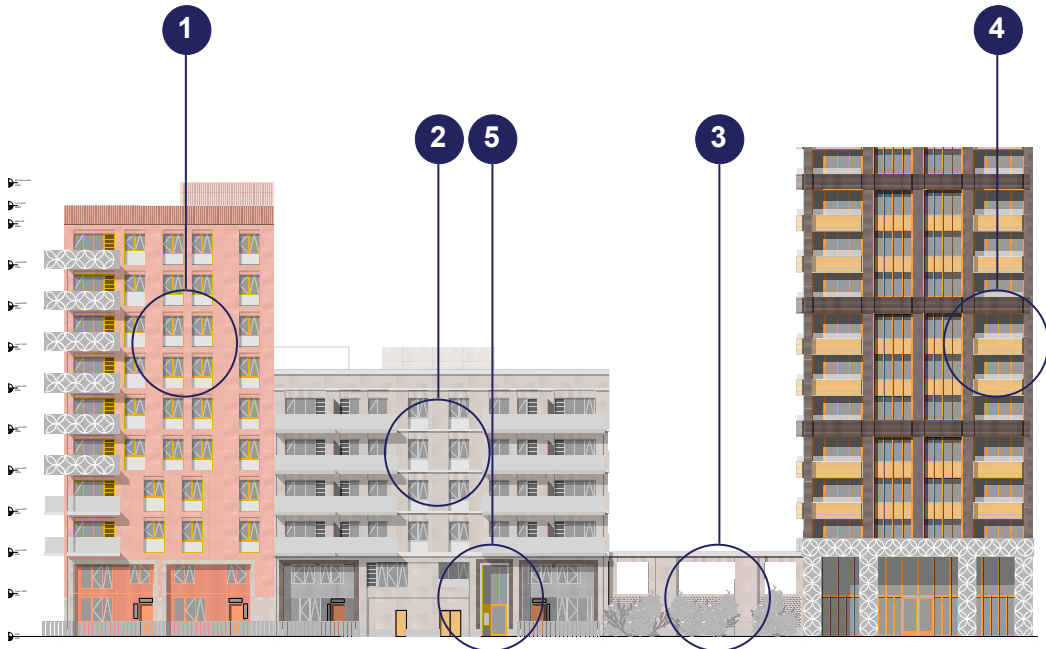


Fig 4.31 Block 4 South Elevation Revised Planning Submission February 2015

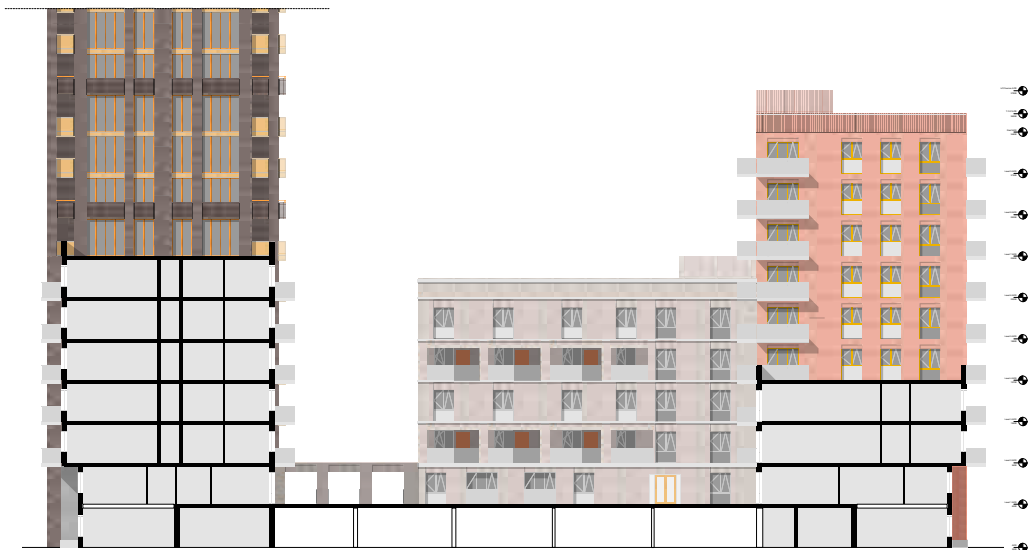


Fig 4.32 Block 4 North Elevation (Courtyard) Planning Submission October 2014

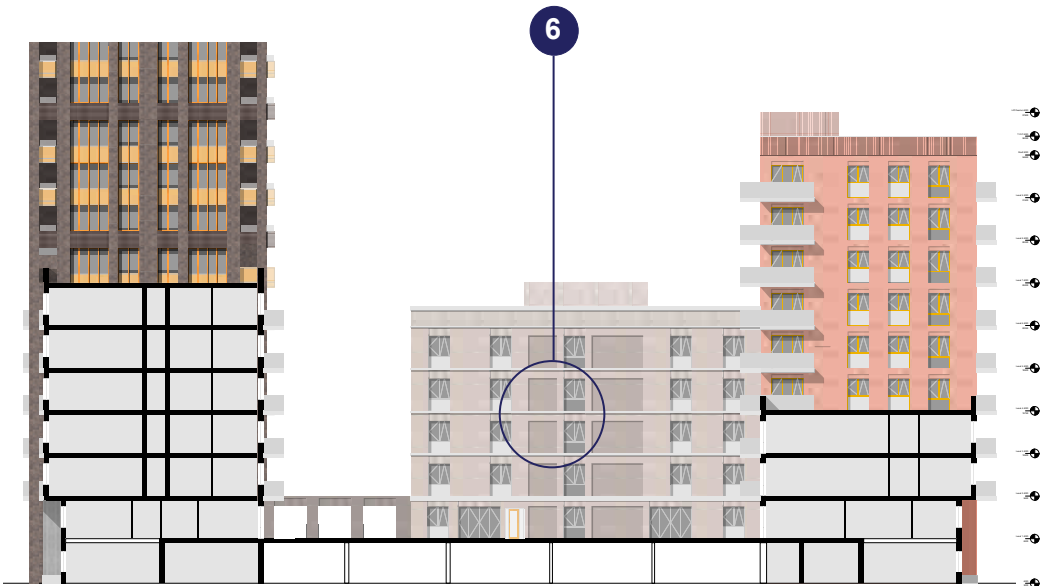


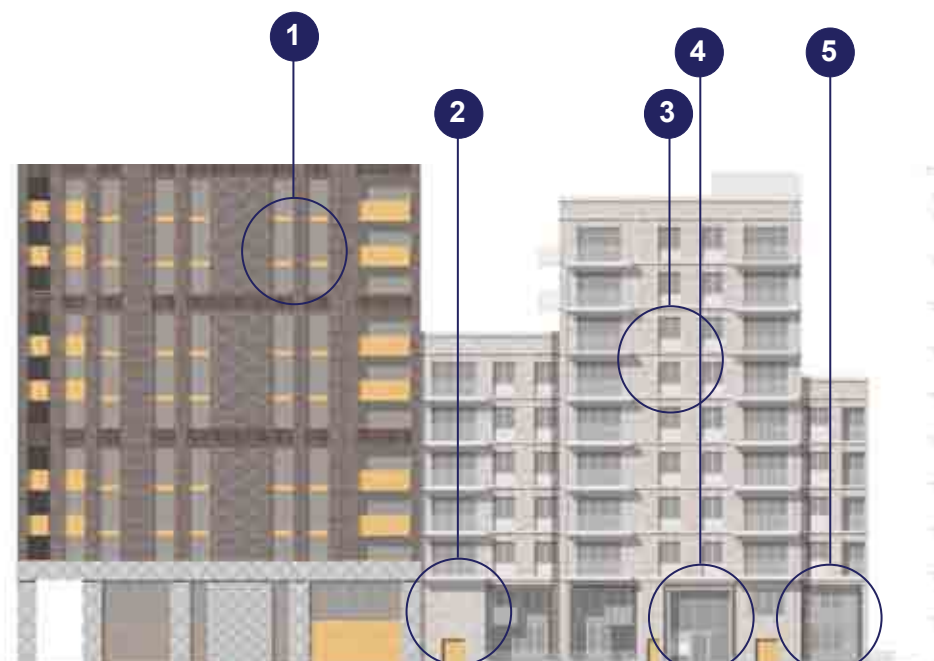
Fig 4.33 Block 4 South Elevation (Courtyard) Revised Planning Submission February 2015







**Fig 4.34 Block 4 East facing Elevation Planning Submission October 2014**



**Fig 4.35 Block 4 East facing Elevation Revised Planning Submission February 2015**

## BLOCK 4 EAST ELEVATION

1. Revised elevation to Plot 4A. Reduction in glazing area to gold banding proportion.
2. New maisonette bay added to replace existing generator room.
3. Windows adjusted for structural verticality.
4. Main Plot 4B entrance made narrower.
5. Recessed timber removed to match new corner maisonette elevations to Plot 4C and 4D.



**Fig 4.36 Block 4 West facing Elevation Planning Submission October 2014**



**Fig 4.37 Block 4 West facing Elevation Revised Planning Submission February 2015**

## BLOCK 4 WEST ELEVATION

6. Recessed timber removed to match new corner maisonette elevations to Plot 4D and 4B. Allows better structural continuity and clearer legibility for maisonette entrances.
7. Main Plot 4C entrance made narrower.
8. Windows flipped to match new internal layout of Plot 4D flat layout.
9. Main Plot 4D entrance made narrower.
10. Windows removed to allow more structural verticality.
11. Recessed timber removed to match new corner maisonette elevations to Plot 4C and 4B.



## BLOCK 4 BUILDING 4B

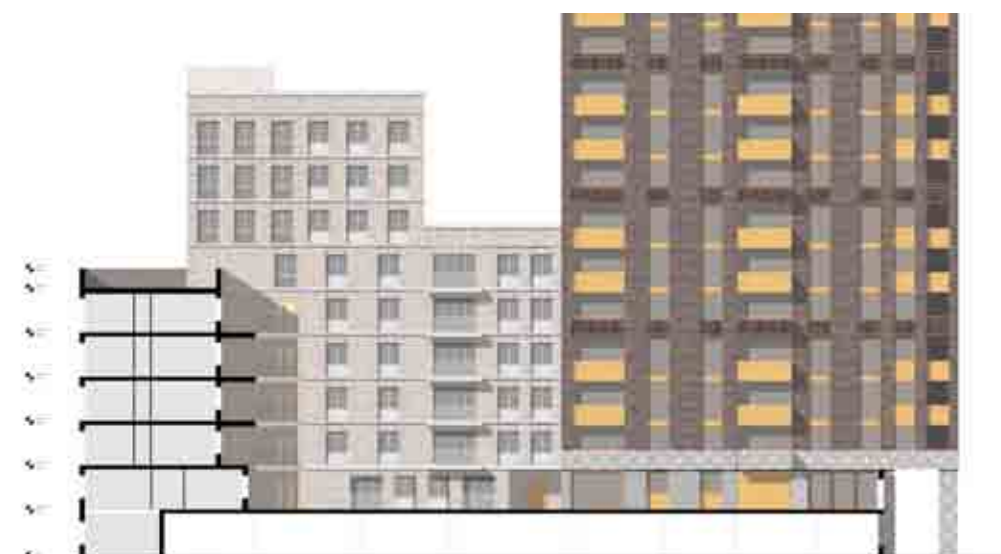
1. New fenestration patterning to allow simple vertical structural grid.
2. Plot 4B core to deck access rationalised.
3. New fenestration patterning to allow simple vertical structural grid.
4. Gold banding onto tower thickened therefore reducing glazing areas and lowering possibility of over-heating.



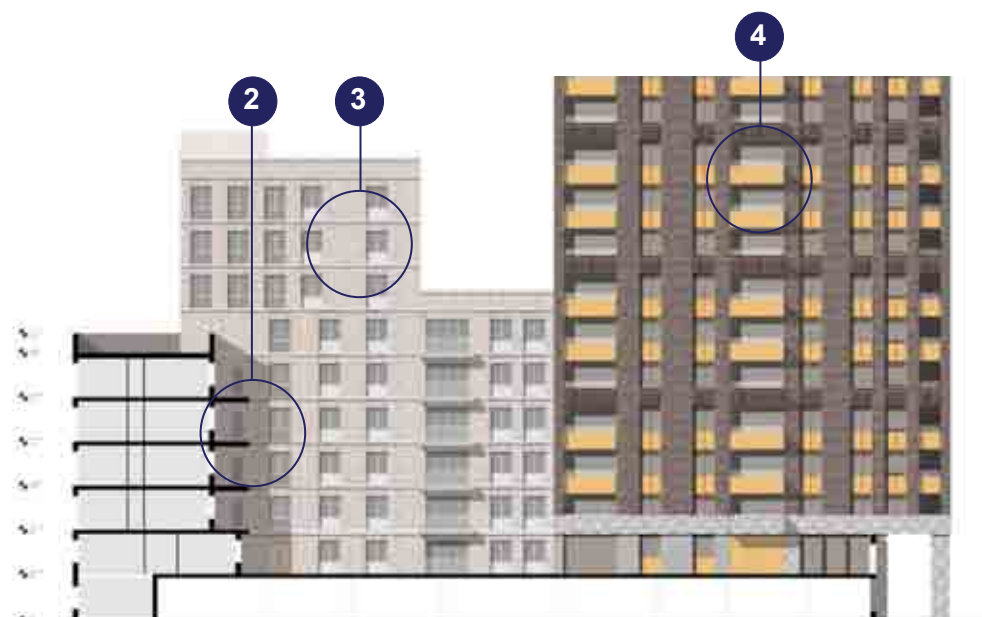
**Fig 4.38 Block 4 North Elevation Planning Submission October 2014**



**Fig 4.39 Block 4 North Elevation Revised Planning Submission February 2015**



**Fig 4.40 Block 4 West Elevation (Courtyard) Planning Submission October 2014**



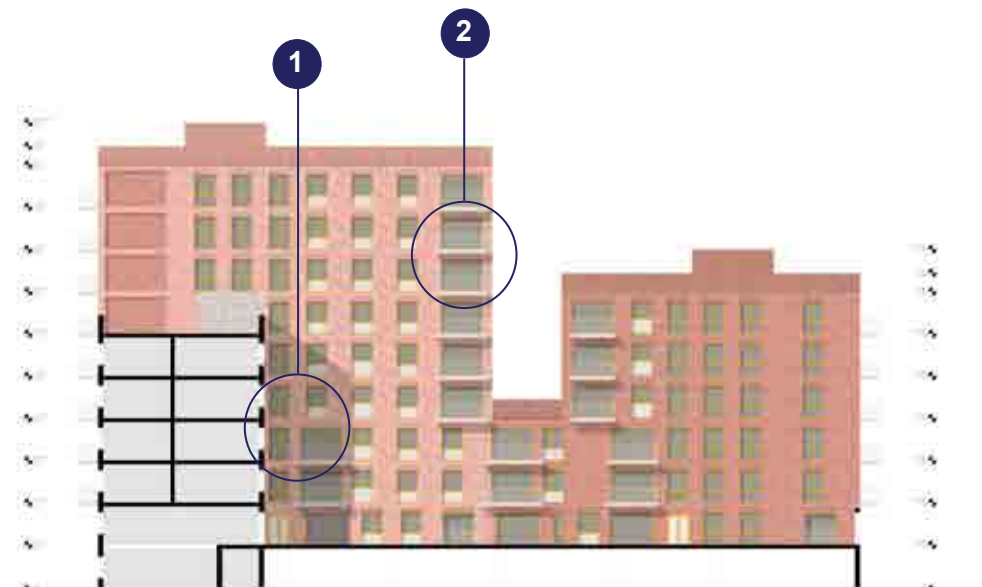
**Fig 4.41 Block 4 West Elevation (Courtyard) Revised Planning Submission February 2015**

## BLOCK 4 BUILDING 4E

1. Plot 4E deck access removed.
2. Minor amendments to balcony positions.



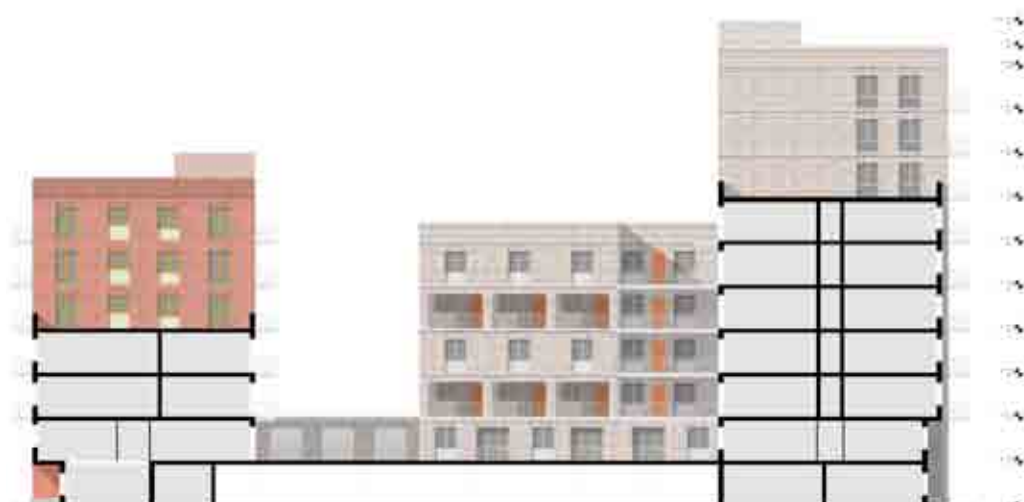
**Fig 4.42 Block 4 East Elevation (Courtyard) Planning Submission October 2014**



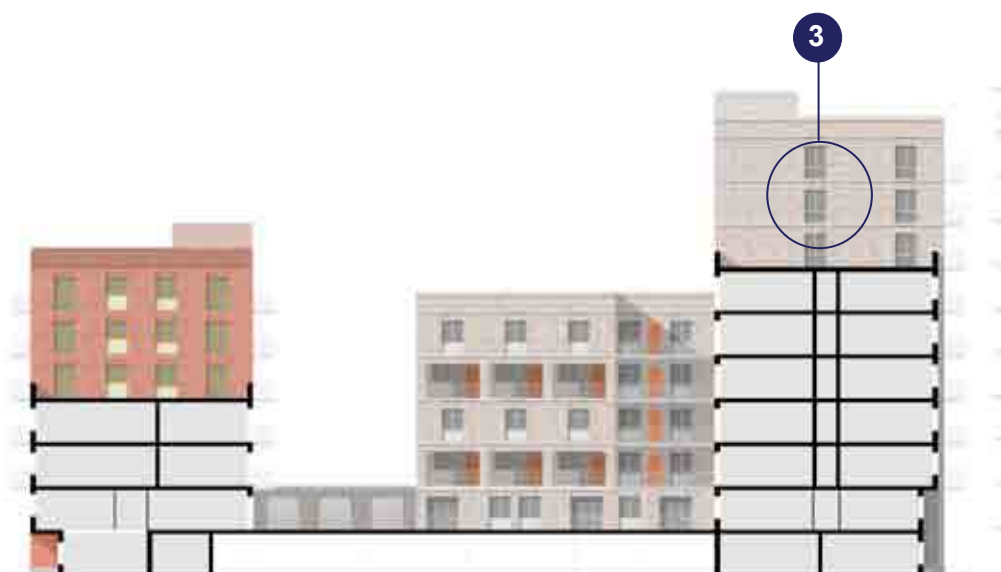
**Fig 4.43 Block 4 East Elevation (Courtyard) Revised Planning Submission February 2015**

## BLOCK 4 BUILDING 4B

3. Window position changed.



**Fig 4.44 Block 4 South Elevation (Courtyard) Planning Submission October 2014**



**Fig 4.45 Block 4 South Elevation (Courtyard) Revised Planning Submission February 2015**



## 4.6 BLOCK 5 PERIMETER BLOCK HTA

Changes to Block 5 reflect design development across the five buildings.

These changes are made in response to comments from the client team, Southwark Planners and through more detailed design development.

The changes reflect minor adjustments to the internal layouts and include:

A general review of entrances to improve their visibility in the street and the visual connection to the podium garden.

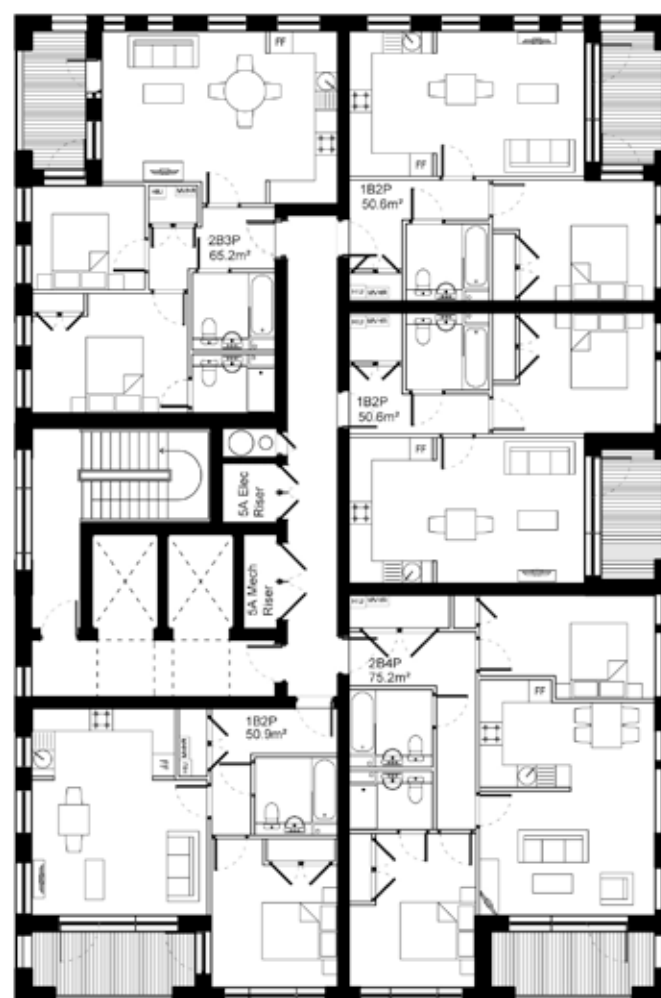
A review of the tower private sale layouts which has resulted in the units being replanned to provide a more open plan configuration.

Minor changes to the layouts in Building 5B to ensure all room widths comply with Southwark and London Plan standards.

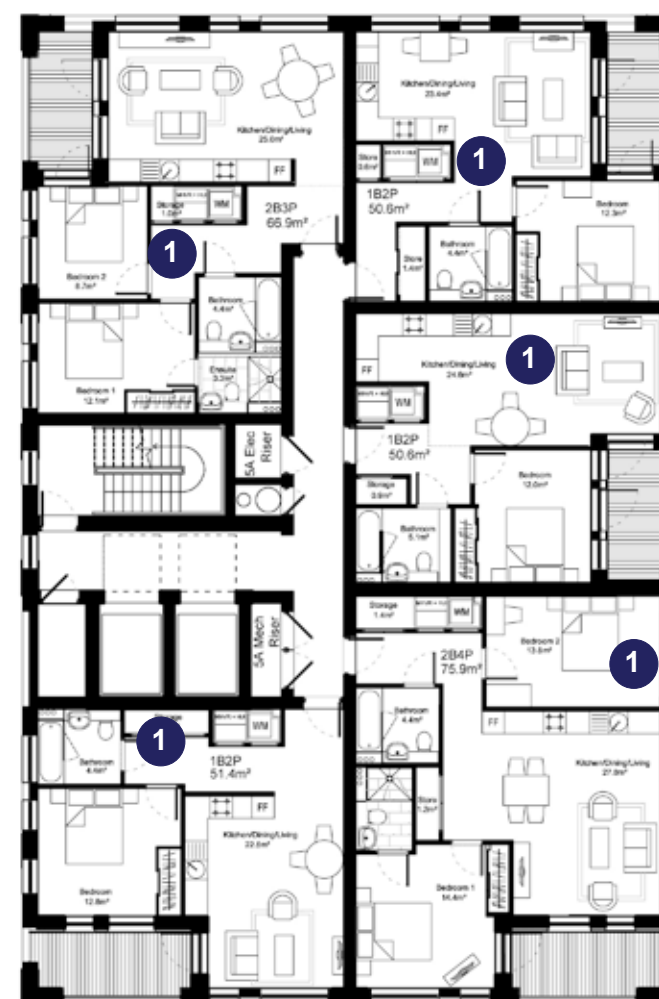
Minor adjustments to Building 5C internal layouts and window positions and changing the wheelchair adaptable flat from the southern end of the floorplate to the northerly end allowing it to be located closer to the lift.

More detailed design of the gallery access and balconies to the wing elements of 5C and 5E.

Changes to the elevation of 5E resulting in balcony and window positions shifting in response to the internal replanning of the floorplate whilst still providing the same mix of accommodation.



**Fig 4.46 Building 5A typical plan, Planning Submission October 2014.**



**Fig 4.47 Building 5A typical plan, Revised Planning Submission February 2015.**

## BLOCK 5 BUILDING 5A

1. Units replanned to provide more open plan accommodation.

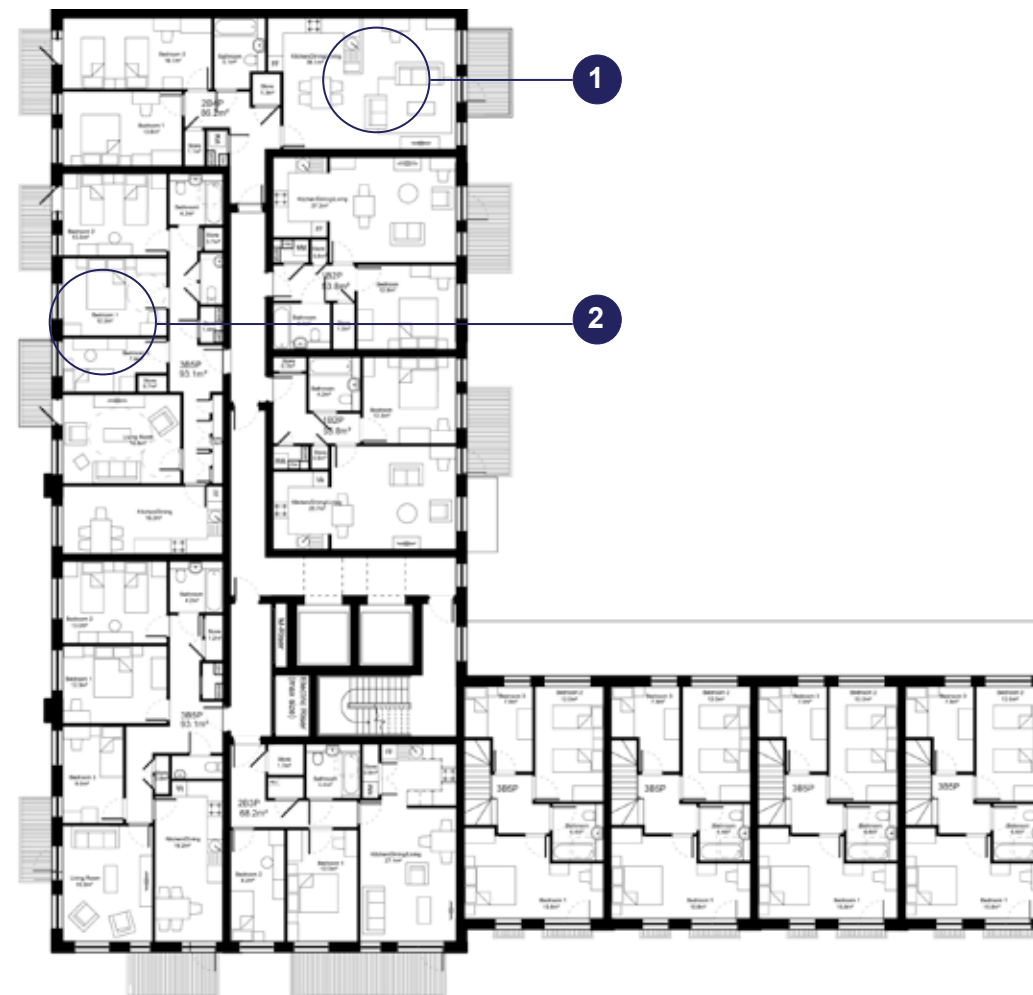


## BLOCK 5 BUILDING 5E

1. Location of 3B and 2B units swapped to maximise frontage and ensure that the 3B flat can accommodate 5 habitable rooms including a separated kitchen/diner.
2. Recessed balcony removed to simplify external wall, structural design and daylighting performance. Additional balcony provided.



**Fig 4.48 Building 5E typical plan, Planning Submission October 2014.**



**Fig 4.49 Building 5E typical plan, Revised Planning Submission February 2015.**

BLOCK 5 EAST ELEVATION

- 1. Entrance to Building 5A reconfigured.
- 2. Decorative screen to CHP.
- 3. Reconfigured binstores to make entrances more welcoming and visible.
- 4. Minor amendments to window positions.

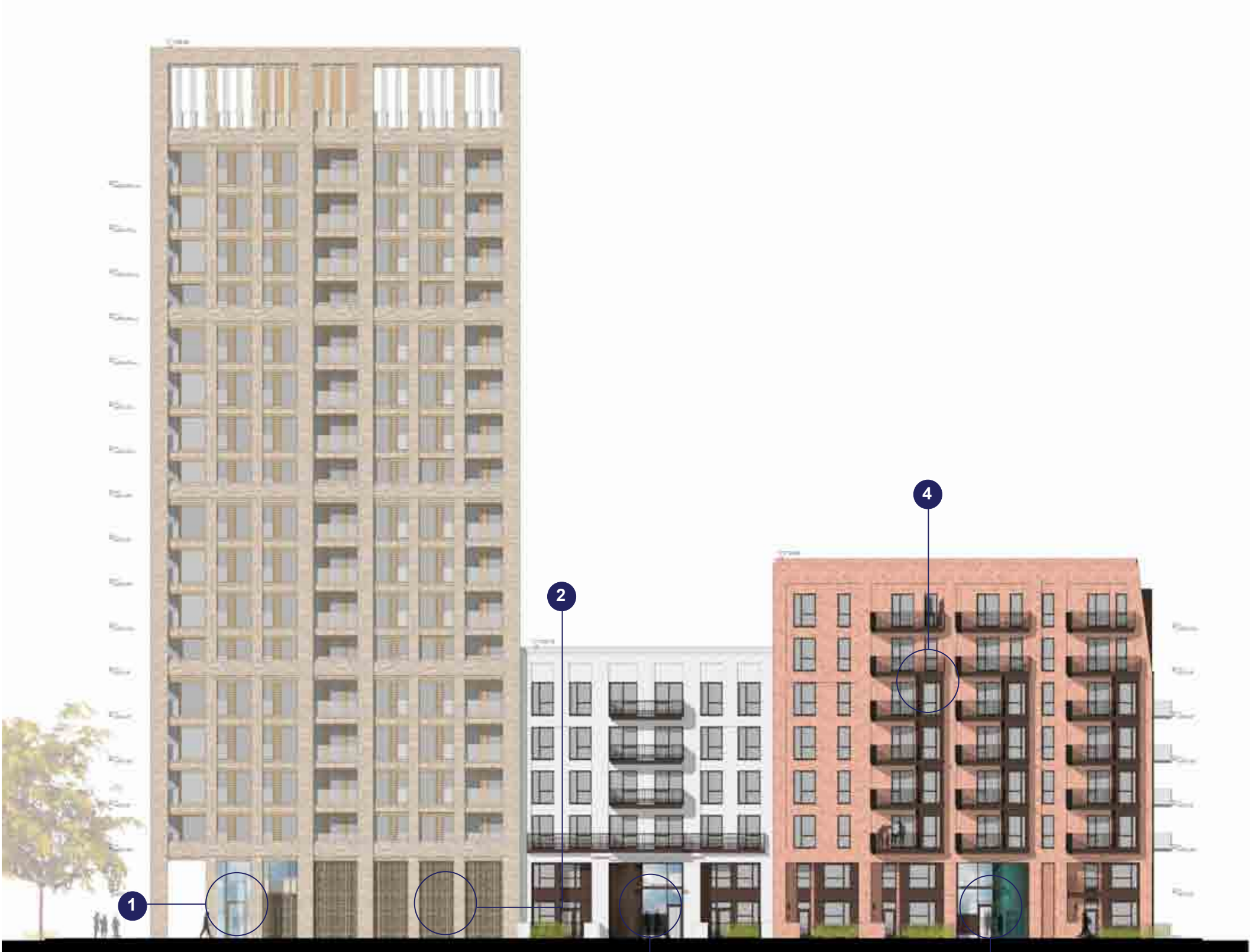


Fig 4.50 Block 5 East Elevation Revised Planning Submission February 2015

BLOCK 5 NORTH ELEVATION

- 1. Increased fenestration to corner unit to improve elevation and natural surveillance of street.
- 2. Minor amendments to window positions.
- 3. Additional balcony added to elevation.
- 4. Decorative metal screening introduced to carpark and plant entrances.



Fig 4.51 Block 5 North Elevation Planning Submission October 2014

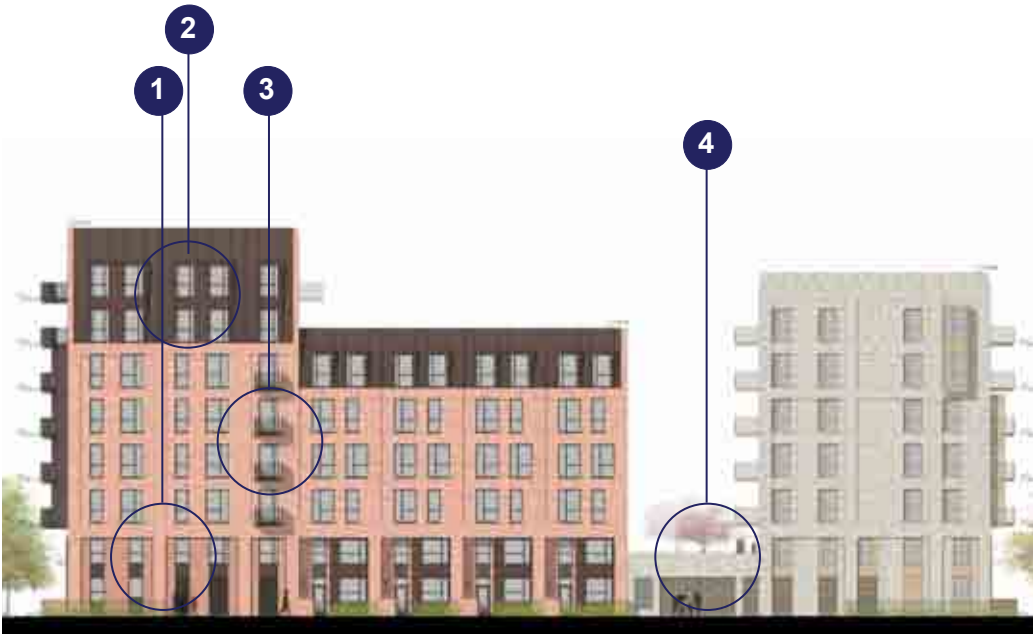


Fig 4.52 Block 5 North Elevation Revised Planning Submission February 2015

BLOCK 5 WEST ELEVATION

- 1. Reconfigured binstore to make entrances more welcoming and visible.
- 2. Minor amendments to window positions.



Fig 4.53 Block 5 West Elevation Planning Submission October 2014



Fig 4.54 Block 5 West Elevation Revised Planning Submission February 2015



BLOCK 5 NORTH INTERNAL ELEVATION



**Fig 4.55** *Block 5 North Elevation (Courtyard) Planning Submission October 2014*



**Fig 4.56** *Block 5 North Elevation (Courtyard) Revised Planning Submission February 2015*

- 1. Gallery access frame and deck revised.
- 2. Minor amendments to window positions.

## BLOCK 5 ENTRANCES



**Fig 4.57 Building 5B Entrance**



**Fig 4.58 Building 5D Entrance**



**Fig 4.59 Building 5E Entrance**

Entrances to Block 5 Have been redesigned to create more welcoming spaces with a clearer view towards accommodation staircases, more connection to the landscaped podium gardens and a wider external approach.

As part of the changes to the landscaping strategy, where entrances are located within the streetscape and how this impacts on tree planting and car parking has also been considered. Details of the Block 5 entrances are shown here.



## 4.7 BLOCK 6 PERIMETER BLOCK HTA

Changes to Block 6 reflect limited design development across the five buildings. These changes are made in response to comments from the client team, Southwark Planners and through more detailed design development.

The changes reflect minor adjustments to the internal layouts and include:

- A general review of entrances to improve their visibility in the street and the visual connection through to the garden space.
- A review of the tower private sale layouts which has resulted in the units being replanned to provide a more open plan configuration.
- Changes to the amount of plant space provided at ground and first floor.
- Changes to the two southerly maisonettes at the base of the tower, 6A. These maisonettes have been rotated to provide more residential active frontage onto Albany Road.
- Within Building 6D, the loss of first floor plant space has allowed for an extra one bedroom unit to be included at first floor level. The required amenity space is provided by a first floor balcony overlooking the courtyard space. This is provided to the rear of the block so as not to disrupt the two storey order to the base of the street and outward facing elevations.
- The Gas pressure reduction station has been repositioned as part of a review of cycle storage, allowing for a larger cycle store to be included and reducing the impact of the PRS on the short stretch of street that continues the east west route towards Bradenham Close between Blocks 1 and 6.
- introducing new windows at ground floor to increase animation and overlooking and a more detailed review of how boundary treatments and the PRS enclosure can include patterned details to make less active elevations more visually interesting creating a greater sense of place on this short street.



**Fig 4.60 Block 6 Ground Floor, Planning Submission October 2014.**



**Fig 4.61 Block 6 Ground Floor, Revised Planning Submission February 2015.**





**Fig 4.62 Block 6 First Floor, Planning Submission October 2014.**



**Fig 4.63 Block 6 First Floor, Revised Planning Submission February 2015.**

1. Maisonette reconfigured to provide 3B5P accommodation.
2. PRS location updated
3. Wheelchair accommodation replanned
4. Maisonettes replanned and re-orientated
5. 1B Flat introduced at first floor level
6. Cores updated.



Fig 4.64 Block 6 North Elevation Planning Submission October 2014



Fig 4.65 Block 6 North Elevation Revised Planning Submission February 2015

**BLOCK 6 NORTH ELEVATION**

- 1. Change of material introduced to top of tower.
- 2. Window positions adjusted to reflect internal replanning.
- 3. Minor amendments to fenestration including increasing window sizes.
- 4. More fenestration to ground floor to improve overlooking.





Fig 4.66 Block 6 South Elevation Planning Submission October 2014



Fig 4.67 Block 6 South Elevation Revised Planning Submission February 2015

## BLOCK 6 SOUTH ELEVATION

1. Window and door positions updated to reflect change in plan where maisonettes have been rotated.
2. Minor amendments to window positions.



Fig 4.68 Block 6 East Elevation (Courtyard) Planning Submission October 2014



Fig 4.69 Block 6 East Elevation (Courtyard) Revised Planning Submission February 2015

## BLOCK 6 EAST INTERNAL ELEVATION

1. Minor amendments to window positions.
2. Balcony added to first floor 1 bedroom flat.



4.8  
CAR PARKING

Car parking has been revised across the FDS. Replanning of Block 4 parking has resulted in a reduction of 5 spaces within the podium car park.

On street parking has been revised to allow for loading bays to be introduced and to enable more crossing points for pedestrians.



Fig 4.70 Parking Strategy

AYLESBURY REGENERATION				
PARKING PROVISION				
01.09.14				
	Off street	On Street	Drop-off	
Standard Spaces				
Affordable Dwellings excl. EC				
Affordable Target Excl. EC & wheelchair				
Affordable Standard spaces (excl EC, LD & W/C)	-	125	-	
Affordable Wheelchair Within Block 4, 5 & 6	21	-	-	
Private Dwellings				
Private Target (excl WC)				
Private Sale Standard Spaces Block 4	32	-	-	
Private Sale Standard Spaces Block 5	45	-	-	
Private Unallocated Standard Spaces for private houses		12	-	
Private Wheelchair Blocks 4 & 5	19	-	-	
Non-standard Spaces				
Extra Care parking	2	-	-	
Extra Care doctors spaces		2	-	
Extra Care Drop Off		-	2	
Ambulance parking (SSDM requires 2-2.3x7m on extg streets, 2.5x7m on new streets)		-	1	
Learning difficulties	2	-	-	
Learning difficulties- Drop Off		-	2	
Community Facility Drop Off (incl in Extra Care drop off)		-	-	
Car club (incl in affordable on street)		-	-	
EXTRA PARKING ON STREET				
		-		
Phase 1a Supplement		23		
Totals	127	162	5	294
		167		



## 4.9 REFUSE & SERVICING

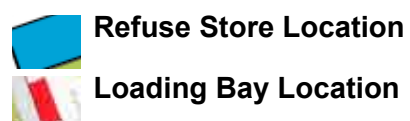
This Design and Access Statement Addendum accompanies the application for Full Planning Consent 14/AP/3843 for the redevelopment of the 4.4 Hectare site bounded by Albany Road, Bradenham Close, Westmoreland Road and Portland Street, and currently forming part of the Aylesbury Estate. The application area forms the First Development Site (FDS) within the wider regeneration of the Aylesbury Estate.

Further to the submission of the Detailed Application in October 2014, the scheme has evolved partly through an on going design process and also in response to comments received during the consultation process. This document records this evolution describing the amendments that have been made to the scheme since submission and provides some further information in relation to the massing and townscape design.

The changes made across the First Development Site are relatively minor and the overall approach in terms of site layout, massing, height, architectural design, building layout, elevation detail, materiality, landscape and public open space remains as described in the Design and Access Statement that accompanies this application and should be read in conjunction with this document.



Fig 4.71 Refuse & Recycling Strategy





## 4.10 CYCLE STORAGE

Cycle storage has been revised in response to TfL comments. The cycle strategy seeks to deliver a target closer to the emerging FALP standards that would deliver 2 cycle parking spaces for all two bedroom homes and larger.

Previously, the submitted application accommodated two cycle parking spaces for all three bed and larger homes. The team has reviewed the cycle storage and sought to increase this in line with the FALP standards. Due to the existing block configurations the team has sought to deliver as much cycle storage as possible but the constraints of the plan have not allowed for 100% of two bedrooms flats to be provided with two dedicated secure cycle parking spaces. As such the design team has focussed on delivering two cycle parking spaces for all 2B4P dwellings and a proportion of 2B3P homes.

In addition, and in accordance with Southwark's guidance, the cycle storage comprises a mix of two tiered cycle stacker and Sheffield stands. This provides a high proportion of cycle storage provided at ground floor level and a lower proportion on the upper stacker level. As with the October submission, more stackers have been located where more one and two bedroom apartments are provided with larger family units provided with greater access to Sheffield stands.

The exact provision is shown below:

Total Cycle Storage Spaces for D01	
Total no. provided in communal storage	998
Total no. provided in GF maisonettes	92
Total no. provided in houses	94
Total number for dwellings**	1184

Percentages	
Sheffield Stands in Communal Storage	45.69%
Bike Stacker in Communal Storage	54.31%
2B4P units with 2 Bikes Spaces	100%
2B3P units with 2 Bikes Spaces	58.25%
2B units with 2 Bikes Spaces	85.47%



Fig 4.72 Sitewide ground floor plan showing location of cycle storage across FDS.

<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span>	Cycle Store - Sheffield Stand
<span style="display:inline-block; width:15px; height:15px; background-color:mediumblue; border:1px solid black;"></span>	Cycle Store - 2 tier Stand
<span style="display:inline-block; width:15px; height:15px; background-color:darkblue; border:1px solid black;"></span>	Cycle Store - Mixed



4.11  
WHEELCHAIR HOUSING

Wheelchair housing was included within the October submission and is described in detail in the DAS.

Minor amendments have been made to the wheelchair accommodation and the revised locations are shown on the attached plan. A schedule of the units, showing their distribution across the FDS is shown in Figure xx.

Building Core	Unit Type	Floor	Type	Tenure
1D	1B	Second	Adaptable	Shared Ownership
1D	1B	Third	Adaptable	Shared Ownership
1D	1B	Fourth	Adaptable	Shared Ownership
4A	2B4P	First	Wheelchair	Private Sale
4B	2B3P	Second	Wheelchair	Market Rent
4B	2B3P	Third	Wheelchair	Market Rent
4B	2B3P	Fourth	Wheelchair	Market Rent
4B	2B3P	Fifth	Wheelchair	Market Rent
4B	2B3P	Sixth	Wheelchair	Market Rent
4C	1B	Second	Adaptable	Shared Ownership
4C	1B	Second	Adaptable	Shared Ownership
4C	1B	Third	Adaptable	Shared Ownership
4C	1B	Third	Adaptable	Shared Ownership
4D	2B3P	Second	Wheelchair	Target Rent
4D	2B4P	Second	Wheelchair	Target Rent
4D	2B4P	Second	Wheelchair	Target Rent
4D	2B3P	Third	Wheelchair	Target Rent
4D	2B4P	Third	Adaptable	Target Rent
4D	2B4P	Third	Adaptable	Target Rent
5C	2B3P	Second	Wheelchair	Private Sale
5C	2B3P	Third	Wheelchair	Private Sale
5C	2B3P	Fourth	Adaptable	Private Sale
5C	2B3P	Fifth	Adaptable	Private Sale
5C	2B3P	Sixth	Adaptable	Private Sale
5D	2B3P	Second	Wheelchair	Private Sale
5D	1B	Second	Wheelchair	Private Sale
5D	2B3P	Third	Adaptable	Private Sale
5D	1B	Third	Adaptable	Private Sale
5D	2B3P	Fourth	Adaptable	Private Sale
5D	1B	Fourth	Adaptable	Private Sale
5D	2B3P	Fifth	Adaptable	Private Sale
5D	1B	Fifth	Adaptable	Private Sale
5E	1B	Second	Wheelchair	Target Rent
5E	3B4P	Second	Wheelchair	Target Rent
5E	2B3P	Second	Wheelchair	Target Rent
5E	1B	Third	Adaptable	Target Rent
5E	3B4P	Third	Wheelchair	Target Rent
5E	2B3P	Second	Wheelchair	Target Rent
5E	1B	Fourth	Adaptable	Target Rent
6B	3B5P Maisonette	Ground	Wheelchair	Target Rent



Fig 4.73 Sitewide second floor plan showing location of wheelchair units across FDS.





## **5.0**

# **CONCLUSION**







## 5.0 CONCLUSION

The amendments made to the FDS application drawings reflect a process of scheme development in response to comments from Southwark Planners and in response to scheme design development within the internal team. The amendments that are described in detail in the preceding sections highlight how this design development has refined the proposals and how relatively minor these changes are.

The basic principles in terms of height, massing, route and space making have not changed and have been proven to be sound through this extra layer of design development. In addition, material choices have not changed with only minor amendments made to detailed areas of facade.

The changes made internally reflect improvements made to the living accommodation, where dwelling plans have been improved to deliver more flexible accommodation, a wider range of dwellings layouts including open plan flats and a greater number of homes across the FDS. As with the October 2014 submission, all of these homes will be lifetime homes compliant and deliver rooms that accord with Southwark and London Plan housing standards, to deliver well lit, well proportioned and well designed homes.

Cycle storage has been increased across the FDS to align with emerging policy and, in conjunction with a reduction in the overall number of car parking spaces, will ensure that the scheme is exemplar in providing streets where the focus is on the pedestrian and the cyclist across the street.

The FDS will deliver the first phase of the outline application that is submitted with the FDS site covering the wider estate regeneration site and will become a benchmark for how the new residential quarter will emerge, delivering new homes, new streets, public realm and demonstrating how new development will reconnect to the surrounding context.

**Fig 5.1 Illustrative plan showing FDS layout, streets, amenity spaces and rooftops**



